



**NEWNAN**

GEORGIA • CITY OF HOMES

## City of Newnan Planning Commission

Agenda for May 12, 2026 Planning Commission Meeting  
7:00 PM, Richard A. Bolin Council Chambers, City Hall

1. Call to Order
2. Approval of Minutes
  - a. March 10, 2026, PC Minutes
3. Public Hearings
  - a. Public Hearing - PD2026-01 - Variance requested by Robert Tigner for 34 Camden Way - Reduction of rear building setback to accommodate a proposed screened porch.
4. Other Business
  - a. Certificate of Appropriateness-57 East Broad Street-Buildings A & B -Tom Crymes
  - b. Certificate of Appropriateness Amendment - 112 Lagrange Street - Jennifer Shelton
5. Adjourn

Any questions prior to the meeting  
should be directed to the Planning and Zoning Department.

Phone: 770-254-2354

E-mail: [tdunnavant@newnanga.gov](mailto:tdunnavant@newnanga.gov)



**CITY OF NEWNAN**  
**Planning Commission**  
**Meeting Minutes**  
March 10, 2026  
7:00 p.m.

Commissioners Present: Alton West, Jordan Marchman, John Pulicare, Janet Marie Gunnels, Anne Yancey, Clay McEntire, Joe Crain Jr.

Commissioners Absent: None

Others in Attendance: Tracy Dunnavant, Planning & Zoning Director  
Dean Smith, Senior Planner  
Brad Sears, City Attorney  
Debbie Snider, Administrative Assistant Planning and Zoning

**CALL TO ORDER**

Chairman West called the meeting to order at 7:00 p.m. in the Richard A. Bolin Council Chambers, City Hall, 25 LaGrange Street.

**READING OF MINUTES**

Chairman West asked if everyone reviewed the February 10, 2026, meeting minutes. Commissioner McEntire made a motion to approve the minutes, seconded by Commissioner Yancey.

**MOTION CARRIED (7-0)**

**PUBLIC HEARINGS**

None

**OTHER BUSINESS**

**Certificate of Appropriateness – 27 Madison Street by Par Fore Golf Company**

Senior Planner, Dean Smith, presented the staff report. Mr. Smith gave an overview of the Downtown Design Overlay district for the benefit of newer commission members. He then presented the request for a covered front porch at Par Fore Golf Company. Mr. Smith provided the location, renderings, structural drawings, measurements, and considerations of the district.

He explained the Main Street Director, Abigail Strickland, was contacted for her feedback on this project; however, she said this project did not qualify for historic guidelines, so she did not have an opinion regarding this. Mr. Smith further stated that staff recommends approval for this project.

Chairman West asked the applicant to come forward. Matt Dauber came forward, and Chairman West asked if there was anything that he would like to say in addition to the staff report. He stated that he hopes the commission approves his request. Mr. Dauber provided details regarding his business and its opening. He further discussed the heat of the glass doors without an awning or porch and explained how water has been coming into the building from underneath the garage doors. Mr. Dauber said he is hoping to ameliorate these issues with a covered porch. He also stated that the renderings show a white awning, but it is more likely to be gray.

With no further questions, Chairman West asked if anyone would like to make a motion. Commissioner Crain made a motion to approve. Commissioner Yancey seconded the motion.

**MOTION CARRIED (7-0)**

**ADDITIONAL COMMENTS**

Ms. Dunnavant discussed the upcoming Planning Training Session tentatively scheduled for April 22, 2026.

**ADJOURN**

With no further business, the meeting adjourned at 7:14 p.m. on a motion from Commissioner Gunnels and seconded by Commissioner Yancey.

**MOTION CARRIED (7-0)**

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Chairman West



City of Newnan, Georgia - Planning Commission

Date: May 12, 2026

Application Number: PD2026-01

Agenda Item: 34 Camden Way

Prepared and presented by: Dean Smith, Senior Planner

**Purpose:** To hear a variance request to reduce the rear building setback from 20 feet to 12 feet for the purpose of adding a screened porch onto the primary structure.

**Applicant:** Robert Tigner  
34 Camden Way  
Newnan, GA 3026

**Zoning:** Planned Development Residential (PDR)

**Present Use:** Single family detached residential structure

**Proposed Use:** Single family detached residential structure

**Pertinent Regulations:** The size criteria for detached garages are set out in Article 6, Section 6-6(c) and Table 6-A of the City of Newnan's Zoning Ordinance.

**Applicant's Position:**

The applicant states, in part, "...The new screened porch will be constructed in the area where the existing concrete pad is currently located, ensuring minimal disturbance to the landscape...The orientation of the proposed structure will face my neighbor's garage and has been designed to avoid obstructing the views of the surrounding community...The structure will be situated 12 feet from the rear property line and 16 ½ feet from the privacy fence of my neighbor on the right side...."

**Basis for Granting Variances:**

The Planning Commission shall base its required findings of fact upon particular evidence, such as will not be contrary to the public interest, where owing to special conditions, a literal enforcement of the provisions of the ordinance will result in unnecessary hardship, but where the spirit of the ordinance shall be observed and substantial justice done. No variance shall be considered to allow a use of land or structures which are not permitted by the ordinance in the zoning district involved. The hearing authority will base its findings on facts and information presented to it in each specific case where the applicant and/or property owner can demonstrate that it meets the majority of the following variance/hardship conditions or standards:

1. There are extraordinary and exceptional conditions pertaining to the particular piece of property in question because of its size, shape, or topography;
2. Such conditions are peculiar to the particular piece of such property involved; **-Corner lot with limited backyard and the rear of the yard is shorter than the front of the yard. Limited area to add a screened porch.**
3. Such conditions were not imposed by the action or will of the owner of the property;

4. The application of the Ordinance to the particular piece of property would create an unnecessary hardship other than a financial hardship; **The strict application of the ordinance prevents the construction of a screened porch or any addition to the rear of the property.**
5. Relief, if granted, would not cause substantial detriment to the public good or impair the purposes and intent of this Ordinance, and furthermore, will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire, or imperil the public safety, or unreasonably diminish or impair established property values within the surrounding areas, or in any other respect impair the health, safety, comfort, morals or general welfare of the inhabitants of the City and is the minimum variance that will make possible the reasonable use of the land, building or structures; **The proposed addition is for the enjoyment of the homeowner and should not create any additional traffic and no activity is contemplated to occur that will pollute the neighboring area nor is there any reason to anticipate any activity that will endanger the public.**
6. There must be a proved hardship by showing beyond a doubt the inability to make a reasonable use of the land if the zoning ordinance were applied literally; and – **The homeowner’s desire to add a screened-in porch over the existing patio will allow them to enjoy the area as they have as before as an uncovered patio; however, the owners cannot make a reasonable use of the backyard area, including an addition or room extension, if the zoning ordinance was applied literally.**
7. The circumstances affecting the property necessitating the variance are sufficiently unique or infrequent that it is not feasible to create a broad regulation to amend this Ordinance. **These requests aren’t recurring enough to enact any broad-based legislation and are situation specific. Furthermore, the process of evaluating each request on a case-by-case basis recognizes the need for certain projects to be sensitive to the area and any concerns from nearby citizens.**

**Planning Department’s Review and Findings:**

The Planning Commission has ruled affirmatively to allow reduced setback for residential additions in the following past cases:

- 2024 – 86 Beacon Crest
- 2023- 1 Pecan Trace
- 2018 – 125 Southwind Lane

As of the date of this report, the City has received no objections from any of the neighboring property owners.

It should be noted that Mr. Tigner has applied for a building permit.

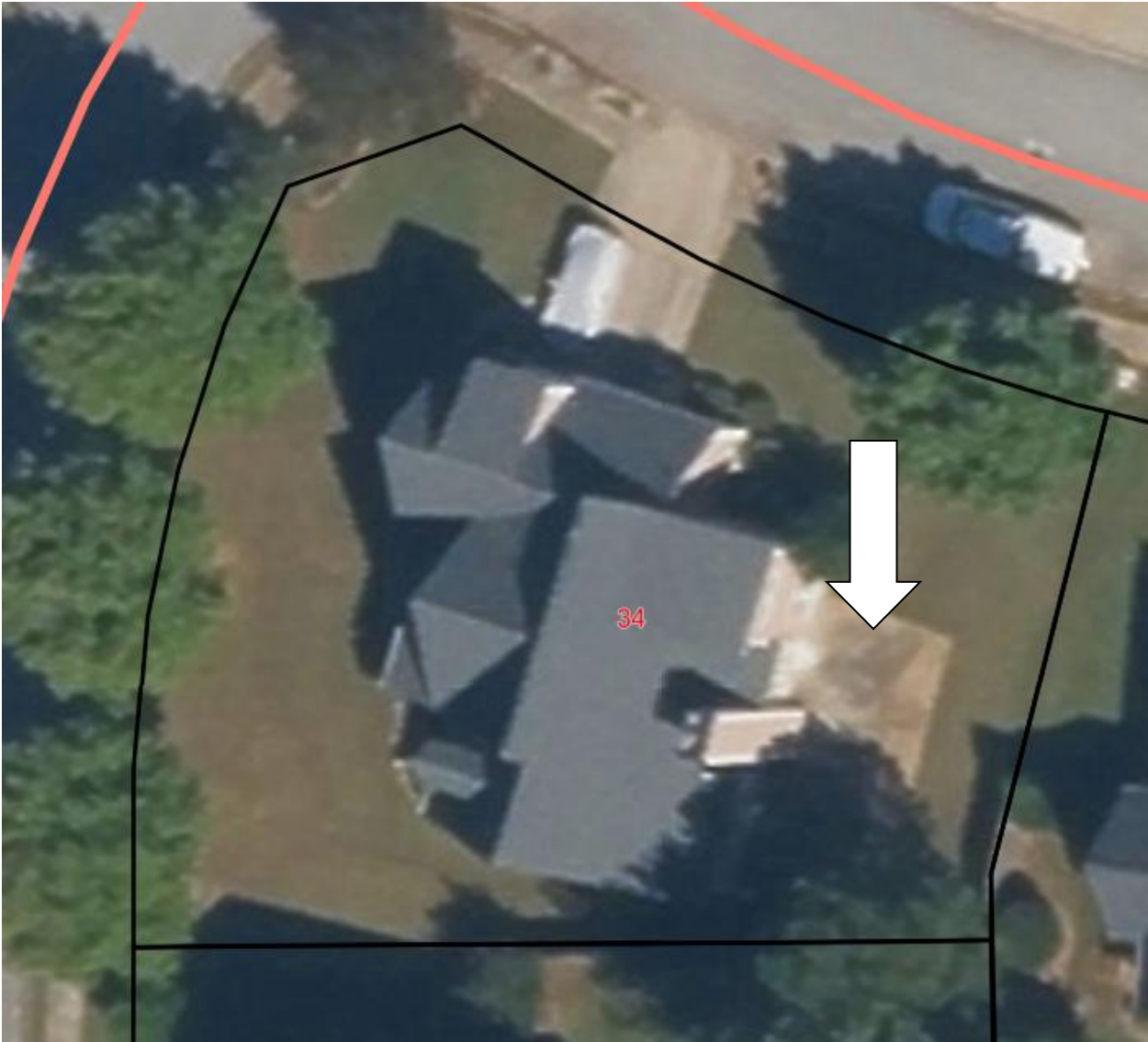
Options:

- A. Approve the variance request
- B. Deny the variance request
- C. Other direction as determined by the Board of Zoning Appeals

Staff’s assessment of this request coincides with Option A, to approve the request. After evaluating the request in regard to the City’s variance hardships standards, staff feels that this request meets standards: 2, 4, 5, 6 & 7

**Attachments:**

Application









**NEWNAN**  
CITY OF HOMES

# CITY OF NEWNAN, GEORGIA

## APPLICATION FOR A Planned Development VARIANCE

Date Received: 3/10/26

Name of Applicant Robert Tigner

Mailing Address 34 Camden Way

Telephone

E-Mail:

Property Owner (Use back if multiple names) \_\_\_\_\_

Mailing Address 34 Camden Way Newnan Ga 30265

Telephone

Address/Location of Property 34 Camden way Newnan Ga 30265

Tax Parcel No.: NA

Present Zoning Classification: Residential

Present Land Use Residential

Intended Use Residential

Any person owning property or having a possessory or contract interest in property and the consent of the owner, may file an application for variance in regard to such property with the Board.

If you have any questions concerning this process, you may call the Planning Department at (770) 254-2354. Office hours are 8:00 a.m. to 5:00 p.m., Monday through Friday. The Planning Commission meets on the second Tuesday of each month. Applications must be submitted by 9:00 a.m., forty-five (45) days prior to the month in which the application will be considered. Incomplete applications or applications submitted after the deadline will not be accepted.

I (We) hereby request the following variance from the provisions of section(s) \_\_\_\_\_ of the Zoning Ordinance/Subdivision Regulations: \_\_\_\_\_

In order for the Commission to consider the request, there must be required findings of fact upon the particular evidence, such as will not be contrary to the public interest, where owing to special conditions, a literal enforcement of the provisions of the ordinance will result in unnecessary hardship, but where the spirit of the ordinance shall be observed and substantial justice done. No variance shall be considered to allow a use of land or structures which are not permitted by the ordinance in the zoning district involved. Please answer the following criteria questions:

1. What are the particular provisions or requirements of the Ordinance that prevent the proposed construction on, or use of, the property?  
*Set backs, need to be 20ft. My currently 12. in the rear, 16 ft. to the side of my neighbor*
2. What is the existing zoning of the property, including any previously approved modifications, conditions, or proffers?  
*Residential*
3. What are the special conditions, circumstances or characteristics of the land, building or structure that prevent the use of the land in compliance with the requirements of the Ordinance?  
*Set back, foundation in line 1*
4. What is the particular hardship that would result if the specified provisions or requirements of the Ordinance were to be applied to the subject property?  
*Now that I can see, because of my current concrete patio already extend to the length when the new construction will be happening*
5. What is the minimum extent to which it would be necessary to vary the requirements of the Ordinance in order to permit the proposed construction on, or use of, the property?  
*Give me a variance of 8ft. in the rear, three and half ft. to the side.*

The Planning Commission shall base its required findings upon the particular evidence presented in each specific case where the property owner can demonstrate that it meets the majority of the following variance/hardship conditions or standards. **The applicant must provide written documentation demonstrating that their request meets at least 4 out of the 7 hardship standards listed below:**

1. There are extraordinary and exceptional conditions pertaining to the particular piece of property in question because of its size, shape or topography;
- ② Such conditions are peculiar to the particular piece of such property involved;
- ③ Such conditions were not imposed by action or will of the owner of the property;
4. The application of the Ordinance to the particular piece of property would create an unnecessary hardship other than a financial hardship.
- ⑤ Relief, if granted, would not cause substantial detriment to the public good or impair the purposes and intent of this Ordinance, and furthermore, will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire, or imperil the public safety, or unreasonably diminish or impair established property values within surrounding areas, or in any other respect impair the health, safety, comfort, morals or general welfare of the inhabitants of the City and is the minimum variance that will make possible the reasonable use of the land, building or structures;
- ⑥ There must be a proved hardship by showing beyond a doubt the inability to make a reasonable use of the land if the zoning ordinance were applied literally; and

- 7. The circumstances affecting the property necessitating the variance are sufficiently unique or infrequent that it is not feasible to create a broad regulation to amend this Ordinance.
- To meet these standards, the applicant should provide specific examples, data, or expert opinions that demonstrate how their property and situation align with at least 4 of these criteria.

Included with the application, the following information is required and must also be furnished in digital, pdf format:

- ✓ Plat of property, illustrating existing development and requested variance.
- ✓ Plans or drawings necessary to illustrate the requested variance.
- ✓ Check for applicable fees (\$350.00).
- ✓ Legal description of property.

I (We) do hereby certify the information provided herein is both complete and accurate to the best of my (our) knowledge, and I (we) understand any inaccuracies may be considered just cause for invalidation of this application, and any action taken on this application. I (We) do hereby understand a variance of any requirement does not exempt the development from any other requirements of the Zoning Ordinance, Subdivision Regulations, or other City or State Regulations.

  
 \_\_\_\_\_  
 \_\_\_\_\_

Signature of Property Owner(s)

FOR OFFICIAL USE ONLY

RECEIVED BY Dean Smith

DATE OF FILING 3/10/26

PC MEETING DATE 5/12/26

DATE OF NOTICE PUBLICATION \_\_\_\_\_

ACTION TAKEN (DATE) \_\_\_\_\_

\_\_\_\_\_



**NEWNAN**  
CITY OF HOMES

City of Newnan, Georgia  
Attachment A

# Property Owner's Authorization

The undersigned below, or as attached, is the owner of the property which is the subject of this application. The undersigned does duly authorize the applicant named below to act as applicant in the pursuit of a variance for property.

Name of Property Owner Robert Tigner

Telephone Number [Redacted]

Address of Subject Property 34 Camden Way  
Newnan Ga 30265

I swear that I am the owner of the property which is the subject matter of the attached application, as it is shown in the records of Coweta County, Georgia.

x Robert Tigner  
Signature of Property Owner

Personally appeared before me

Robert Lewis Tigner GA D2 BOFA client.

who swears the information contained in this authorization is true and correct to the best of his/her knowledge and belief.

[Signature]  
Notary Public

**LEDANY CONTRERAS VALLES**  
NOTARY PUBLIC  
Coweta County  
State of Georgia  
My Comm. Expires Jan. 18, 2028

(Affix Raised Seal Here)

03/09/2026  
Date

Robert Tigner  
34 Camden Way  
Newnan, GA 30265

03/09/2026

City of Newnan  
Planning & Zoning Department  
25 LaGrange Street  
Newnan, GA 30263

**Subject:** Request for Variance Approval for Screened Porch Construction

Dear Planning & Zoning Department,

I am writing to formally request approval for a variance to construct a screened porch on my property. The new screened porch will be constructed in the area where the existing concrete pad is currently located, ensuring minimal disturbance to the landscape. The orientation of the proposed structure will face my neighbor's garage, and it has been thoughtfully designed to avoid obstructing the views of the surrounding community.

The structure will be situated 12 feet from the rear property line and 16½ feet from the privacy fence of my neighbor on the right side. All aspects of the construction will fully comply with the City of Newnan's requirements and building codes. I am committed to maintaining the aesthetic and integrity of our neighborhood while enhancing my property in a respectful manner.

Thank you for your consideration of my request. Please let me know if you need any additional information or documentation.

Sincerely,

Robert Tigner



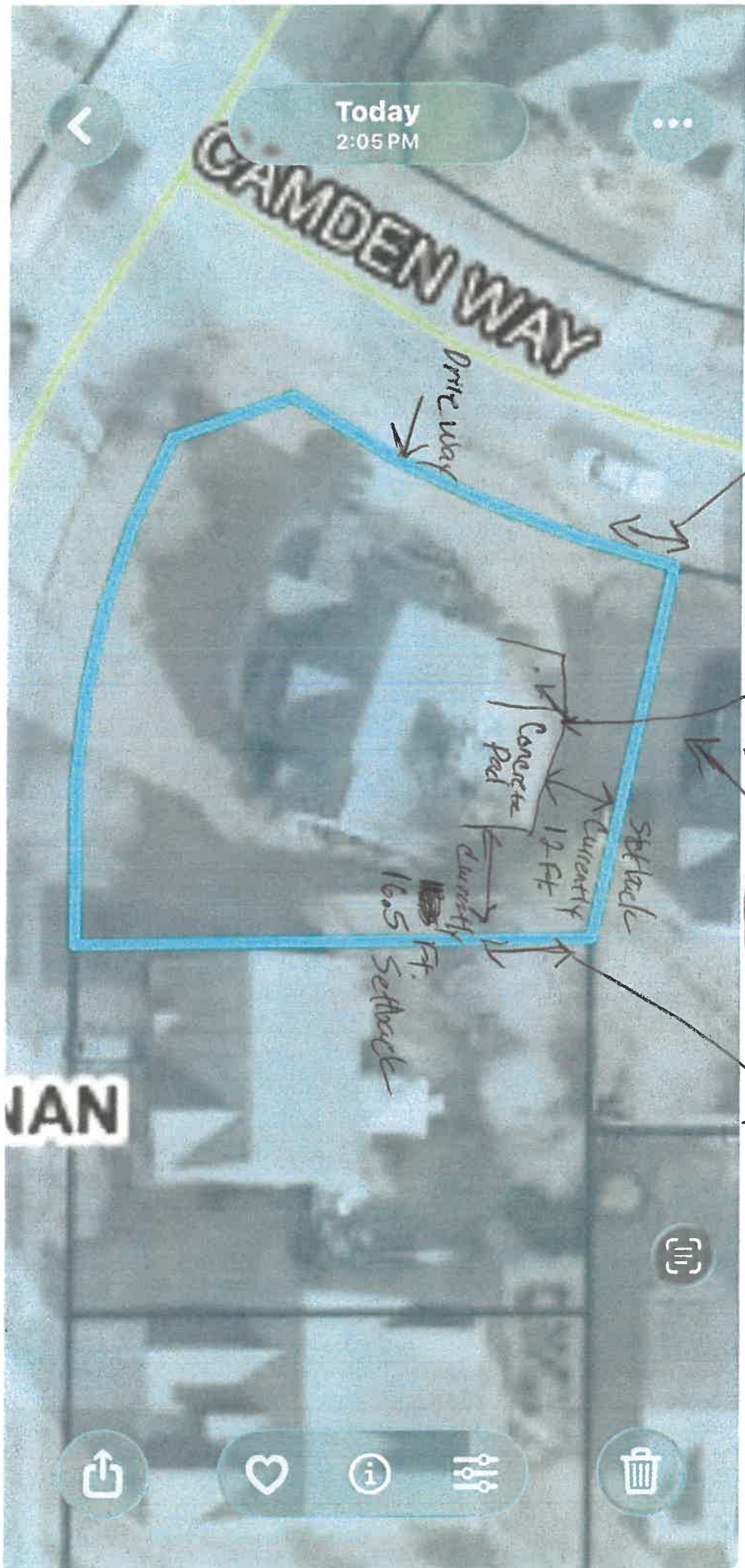
Before / Present



Robert Figner

Site Plan

34 Camden Way Newen, Va  
30965



Additional proposed iron pipe bars concrete extension garage

Neighbors Privacy Fence

#1



#2

#3

#3

B

Key for 34 Camden Way  
Newnan Ga. 30265

A

- #1 12 inches of overhang
- #2 Charcoal Architectural (Asphalt) Shingles matched to the house
- #3 6 inch Seamless gutters with 2 down spouts
- #4 Handrails with balusters 42 inches High
- #5 Screen door or storm door 36 W x 80 H
- #6 Ground to Overhang 8 ft. High
- #7 From House to Edge of Concrete is 16 feet
- #8 Width from side to side is 25 feet
- #9 Roof Pitch is 4/12
- #10 Screen

B

- #1 Ceiling finished with soffits + straps
- #2 Ceiling fan Installed in the center
- #3 1 Electrical Outlet Install (May not be where its pictured)

C

Framing / walls	PT #4's	* Decking
Corner posts	Header Beam	OSB Plya
Rafters	2 X 10 PT	Synthetic Felt
	24 ft on center	Flashing



The properties surrounding the site include a mixture of commercial, residential and the bicentennial park project currently under construction. The property is bordered to the east by a railroad track. The lots that comprise the block on which this site is located, are all zoned Central Business District (CBD).

**Issues for Consideration for a Certificate of Appropriateness:**

In reviewing the request in terms of the rehabilitation standards that were adopted for development in the *Downtown Design Overlay* district (DDO), staff addressed the following standards in terms of the work proposed at 21 Jackson Street:

- a) **Building Orientation and Setback** – The building will be oriented so that the primary entrance will be facing north to south. The Central Business District does not have any building setback requirements; however, the predominant setback within the CBD favors a streetscape layout and this proposed development illustrates that layout.
- b) **Directional Emphasis** – The directional emphasis will be primarily vertical and is consistent with the similar developments in the Downtown Design Overlay District, such as the Newnan Views Townhouse development and Bonnell Building to the west of the proposed development.
- c) **Shape** – The principal elements and shapes proposed on the structure will be compatible with existing structures within the area of influence.
- d) **Proportion** – The proportions of the new building are consistent with dominant patterns of proportion within the area of influence.
- e) **Rhythm** – The new construction should not disrupt the existing rhythmic patterns in the area of influence.
- f) **Massing** - The massing of the building for the new construction is compatible with the overall mass of the adjoining structures.
- g) **Scale and Height** – The proposed work does propose an increase in height to the former structures that were demolished and to the structures within the existing block. However, in 2023, the Planning Commission approved a forthcoming project at 19 Perry Street for a structure that will be 58 feet tall. The proposed new building conforms to the existing dominant patterns within the area of influence.
- h) **Architectural and Site Elements** – The project will complement the surrounding architecture of Historic Downtown Newnan. Additionally, the proposed project includes off-street parking spaces, which will be oriented towards the rear of the building. This parking plan follows the predominant site patterns within the area of influence.

Additionally, please find, included with this report, a letter from the City of Newnan’s Main Street Department’s Manager Abigail Strickland, expressing support for this project.

**Options:**

- A. Approve the certificate of appropriateness.
- B. Approve the certificate of appropriateness with conditions.
- C. Deny the certificate of appropriateness request.

**Recommendation:** Staff recommends Option A to approve the Certificate of Appropriateness request.

**Attachments:** Certificate of Appropriateness Application

**Previous Discussions with Commission:** None

Older images of the site prior to demolishing existing buildings.







April 29, 2026

City of Newnan Planning Commission  
25 LaGrange Street  
Newnan, GA 30263

Dear Members of the Planning Commission,

On behalf of the Downtown Development Authority, I am writing to express our support for the proposed 57 East Project and the request for a Certificate of Appropriateness.

As the property owner, the DDA is supportive of this project and the investment it represents in the continued growth and vitality of downtown. While this is a new construction project and does not involve the rehabilitation of an existing historic structure, we appreciate the thoughtful approach taken to ensure compatibility with the surrounding downtown context.

In particular, the proposed use of brick and other high-quality, durable materials is appropriate and consistent with the established character of downtown. The project reflects a commitment to maintaining the aesthetic integrity of the district while accommodating new development and economic growth. Projects such as 57 East play an important role in strengthening downtown by encouraging reinvestment, supporting local businesses, and enhancing the overall experience for residents and visitors alike.

The Downtown Development Authority fully supports the issuance of the Certificate of Appropriateness for this project.

Thank you for your consideration.

Abigail Strickland  
Main Street Manager  
City of Newnan  
770-253-8283

[www.mainstreetnewnan.com](http://www.mainstreetnewnan.com)

BASED ON THE INFORMATION SHOWN ON THE FLOOD HAZARD BOUNDARY MAPS FURNISHED BY THE DEPT. OF HUD THROUGH THE FEMA IT IS MY OPINION THAT THE PROPERTY SHOWN HEREON IS OUTSIDE OF ANY FLOOD HAZARD AREA.  
 COMMUNITY PANEL #13077C 0231D DATED: FEBRUARY 6, 2013



**CAUTION**  
 THE UTILITIES SHOWN ARE SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF ALL UTILITIES WITHIN THE LIMITS OF THE WORK. ALL DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

**Paramount**  
 ENGINEERING, INC.  
 11 E. BROAD ST.  
 NEWNAN, GA. 30263  
 PH: (770)-473-8576  
 george@paramountengineering.com



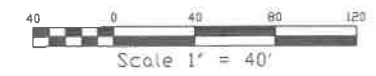
**GENERAL NOTES:**

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND EXISTENCE OF ALL UTILITIES SHOWN AND NOT SHOWN PRIOR TO THE START OF ANY WORK.
2. ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH APPLICABLE CODES AND ORDINANCES. CONTRACTOR SHALL VERIFY CONFORMANCE.
3. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR CONSTRUCTION SUPERVISION OR INSPECTION OF THE PROPOSED IMPROVEMENTS.
4. FILL MATERIAL SHALL BE FREE OF ORGANIC OR OTHER DELETERIOUS MATERIAL AND HAVE A MINIMUM DENSITY OF 100 PCF.
5. FILL MATERIAL SHALL BE PLACED IN 8" LIFTS (LOOSE) AND COMPACTED TO 95% OF THE MAXIMUM STANDARD PROCTOR DENSITY.
6. FILL OPERATIONS SHOULD BE OBSERVED BY A SOILS ENGINEER AND IN-PLACE DENSITY TESTS SHOULD BE PERFORMED BY THE SOILS ENGINEER TO CHECK COMPACTION.
7. AREAS TO RECEIVE FILL SHALL BE CLEARED OF TOPSOIL, TREES, VEGETATION, AND ANY ORGANIC OR DELETERIOUS MATERIAL PRIOR TO FILLING OPERATIONS.
8. SUBGRADE CONDITIONS SHOULD BE INVESTIGATED BY A SOILS ENGINEER PRIOR TO CONSTRUCTION.
9. ROOF DRAINS FROM FUTURE BUILDINGS TO BE CONNECTED DIRECTLY TO STORMSEWER SYSTEM.
10. THE PROPERTY IS CURRENTLY COVERED IN GRAVEL AND UNDEVELOPED.
11. THIS PLAN TO COMPLY WITH ALL ZONING, VARIANCE, & DRI CONDITIONS.
12. ALL PAVEMENT MARKINGS, STRIPING & SIGNAGE TO CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY OF NEWNAN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
13. ALL HANDICAP PARKING SPACES REQUIRE HANDICAP PARKING SIGNS.
14. SIGHT LIGHTING TO BE PREPARED BY OTHERS.

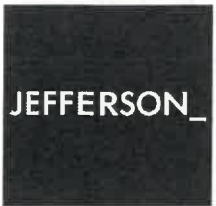
**OWNER/DEVELOPER:**  
 24 HOUR CONTACT  
 PRIMARY PERMITTEE  
 TOMCO CONSTRUCTION  
 TOM CRYMES  
 20 OAK HILL BLVD., STE. 200  
 NEWNAN, GA. 30265  
 PH: 770-663-2333  
 E: tom@tomcoconstruction.com

**LEGEND**

P.O.B.	POINT OF BEGINNING	EXISTING	EX.
P.O.R.	POINT OF REFERENCE	PROPOSED	PR.
O.T.P.	OPEN TOP PIPE	TREE PROTECTION FENCING	T.P.F.
I.P.F.	IRON PIN FOUND	PR. FIRE HYDRANT	PR. FH
I.P.S.	IRON PIN SET	EX. FIRE HYDRANT	EX. FH
PL.	PROPERTY LINE	EX. WATER VALVE	EX. WV
C.M.F.	CONCRETE MOUND FOUND	PR. WATER VALVE	PR. WV
L.L.L.	LAND LOT LINE	WATER METER	WM
B.O.C.	BACK OF CURB	ELECTRIC BOX	EB
E.O.P.	EDGE OF PAVEMENT	FLARED END SECTION	FES
T.W.	TOP OF WALL	SANITARY SEWER LINE	SS
B.W.	BOTTOM OF WALL	WATER LINE	WL
D.E.	DRAINAGE EASEMENT	WATER METER	WM
SSMH	SANITARY SEWER MANHOLE - SSMH	SIGN	S
J.B.	JUNCTION BOX (JB)	FENCE	F
D.W.C.B.	DOUBLE-WING CATCHBASIN (DWCB)	PROPOSED ASPHALT PAVING	PAP
S.W.C.B.	SINGLE-WING CATCHBASIN (SWCB)	(PER CITY LOCAL COMMERCIAL STANDARDS)	
D.I.	DROP INLET (DI)		
H.	HEADWALL		
D.F.	DRAINAGE FLOW		
L.P.	LIGHT POLE (LP)		
P.P.	POWER POLE (PP)		



PROJECT: **57 EAST - PHASE I**  
 SHEET: **MASTER PLAN**  
 CITY OF NEWNAN  
 5TH DISTRICT  
 DRAWN BY: GPH  
 DATE: 11-11-25  
 SCALE: 1" = 40'  
 DRAWING NO: 241211-57 EAST  
**SHEET C3**

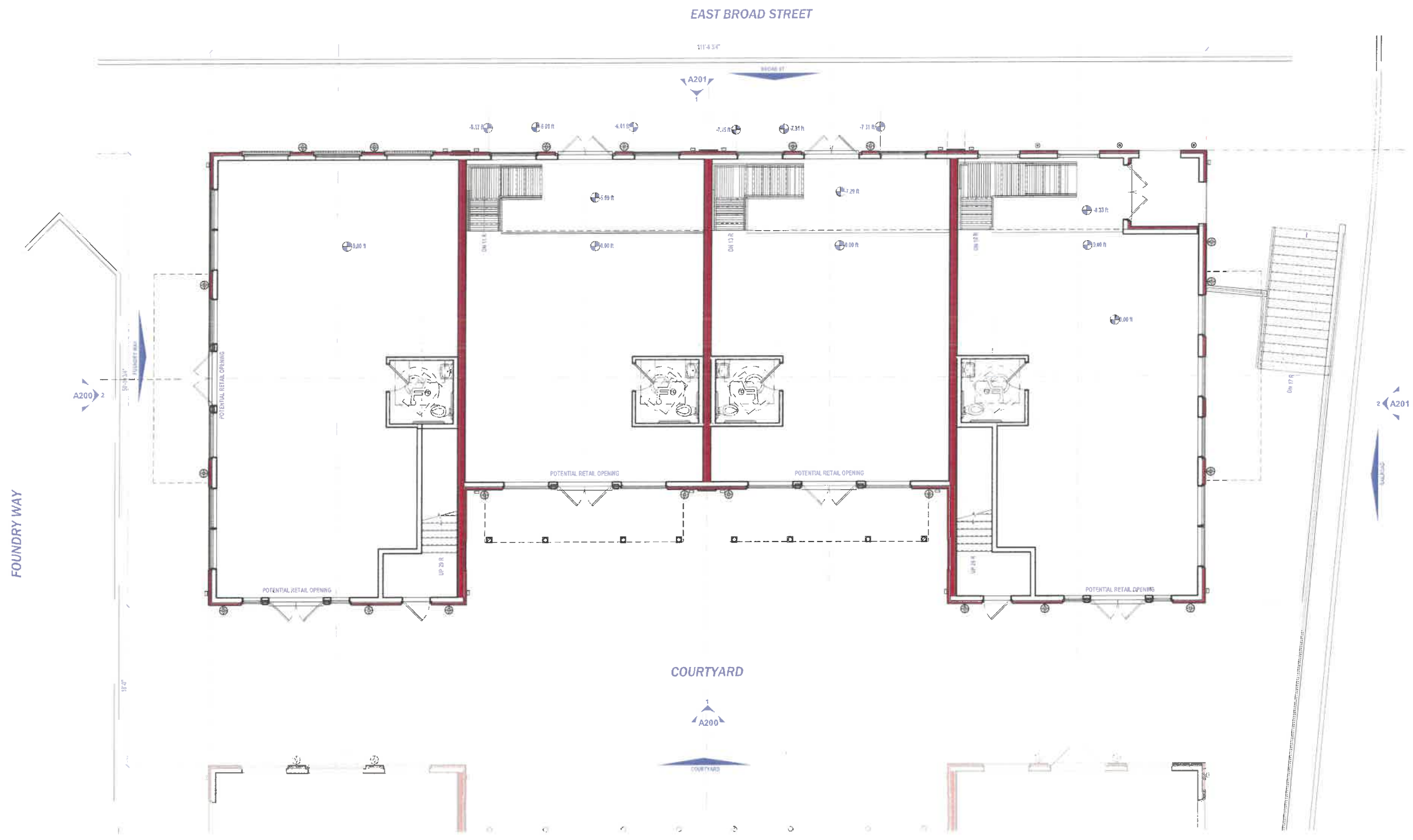


57 EAST - BUILDING A

JEFFERSON ARCHITECTURE

MATERIALS KEY

	2x4 WOOD FRAMING
	2x6 WOOD FRAMING
	2x8 WOOD FRAMING
	4" C M.U.
	INDIANA LIMESTONE
	CASEWORK BY OTHERS
	FIREBRICK



1 FLOOR PLAN : GROUND FLOOR  
SCALE OF: 3/16" = 1'-0"

FFE = 971.0'

PROJECT NO. 4464



DESIGN REVIEW  
NOT RELEASED FOR CONSTRUCTION  
MARCH 24, 2026

REVISIONS

- NOTES
- 1.
  - 2.
  - 3.

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PROJECT NORTH TRUE NORTH



SCALE As Indicated

FLOOR PLANS

A102

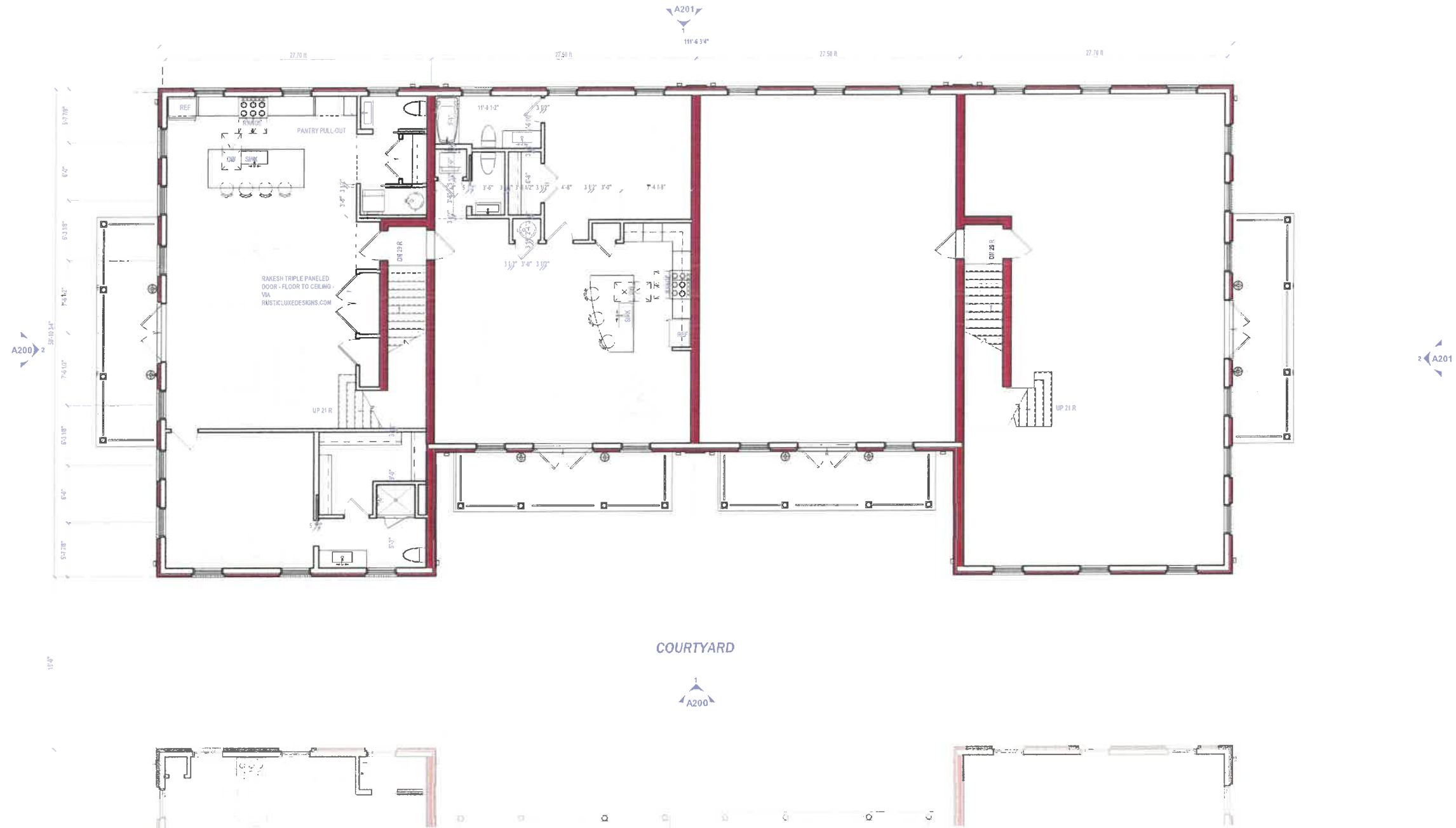
SHEET NO. ©2026

MATERIALS KEY	
	2x4 WOOD FRAMING
	2x6 WOOD FRAMING
	2x8 WOOD FRAMING
	1" CMU
	INDIANA LIMESTONE
	CASEWORK BY OTHERS
	FIREBRICK



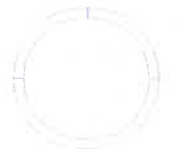
# 57 EAST - BUILDING A

NEWARK, GEORGIA



**1 FLOOR PLAN : SECOND FLOOR**  
SCALE OF : 3/16" = 1'-0"

PROJECT NO. 4464



DESIGN REVIEW  
NOT RELEASED FOR CONSTRUCTION  
MARCH 24, 2026

REVISIONS

NOTES

- 1.
- 2.
- 3.

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PROJECT NORTH TRUE NORTH

SCALE As Indicated

FLOOR PLANS

# A103

SHEET NO. ©2026

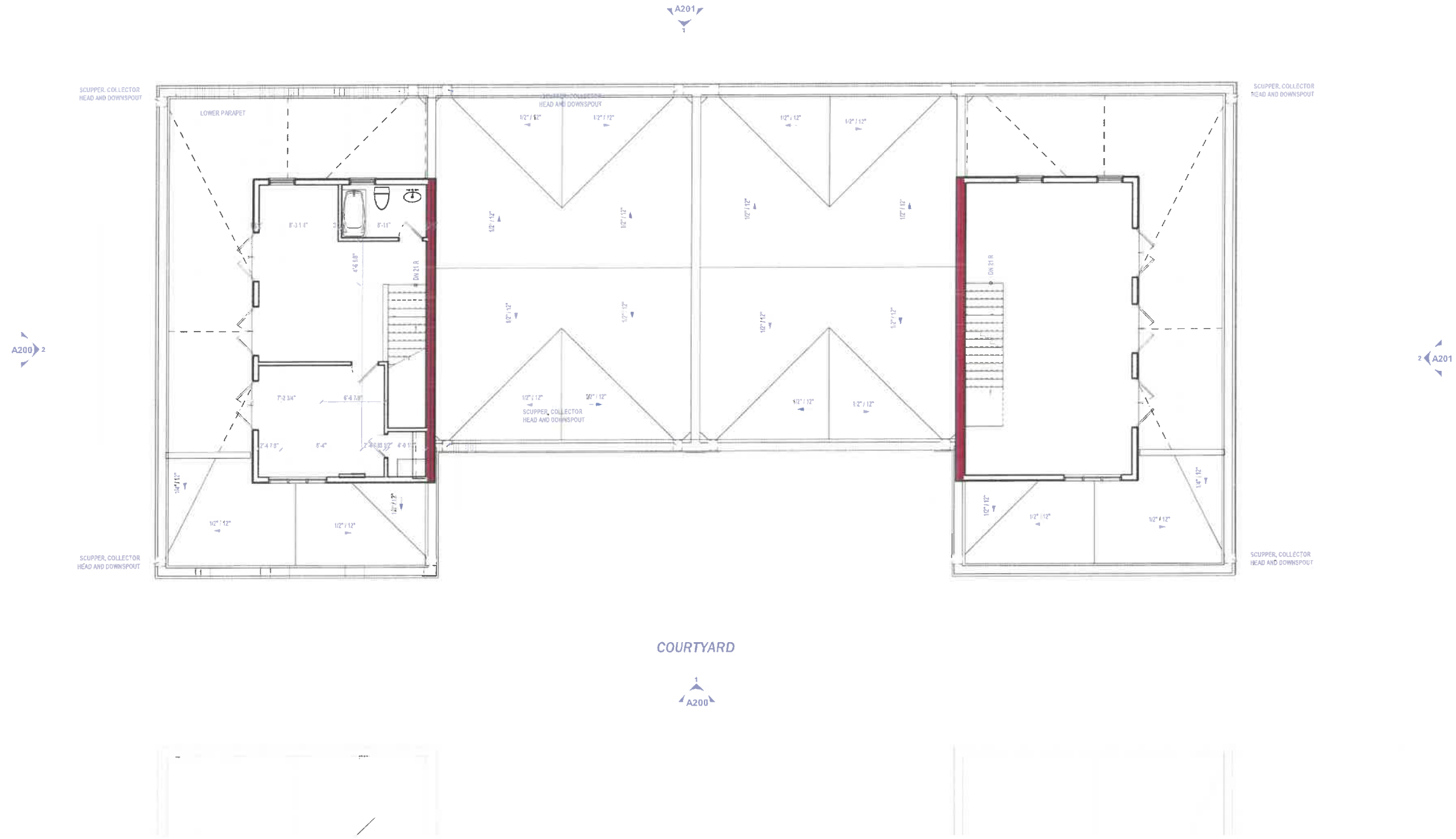
MATERIALS KEY

[Symbol]	2x4 WOOD FRAMING
[Symbol]	2x6 WOOD FRAMING
[Symbol]	2x8 WOOD FRAMING
[Symbol]	4" C.N.U.
[Symbol]	INDIANA LIMESTONE
[Symbol]	CASEWORK BY OTHERS
[Symbol]	FIREBRICK



# 57 EAST - BUILDING A

NEWARK, GEORGIA



**1** THIRD FLOOR  
SCALE OF 3/16" = 1'-0"

PROJECT NO. 4464



DESIGN REVIEW  
NOT RELEASED FOR CONSTRUCTION  
MARCH 24, 2026

REVISIONS

NOTES

- 1.-
- 2.-
- 3.-

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PROJECT NORTH TRUE NORTH



SCALE As Indicated

FLOOR PLANS

# A104

SHEET NO. ©2026

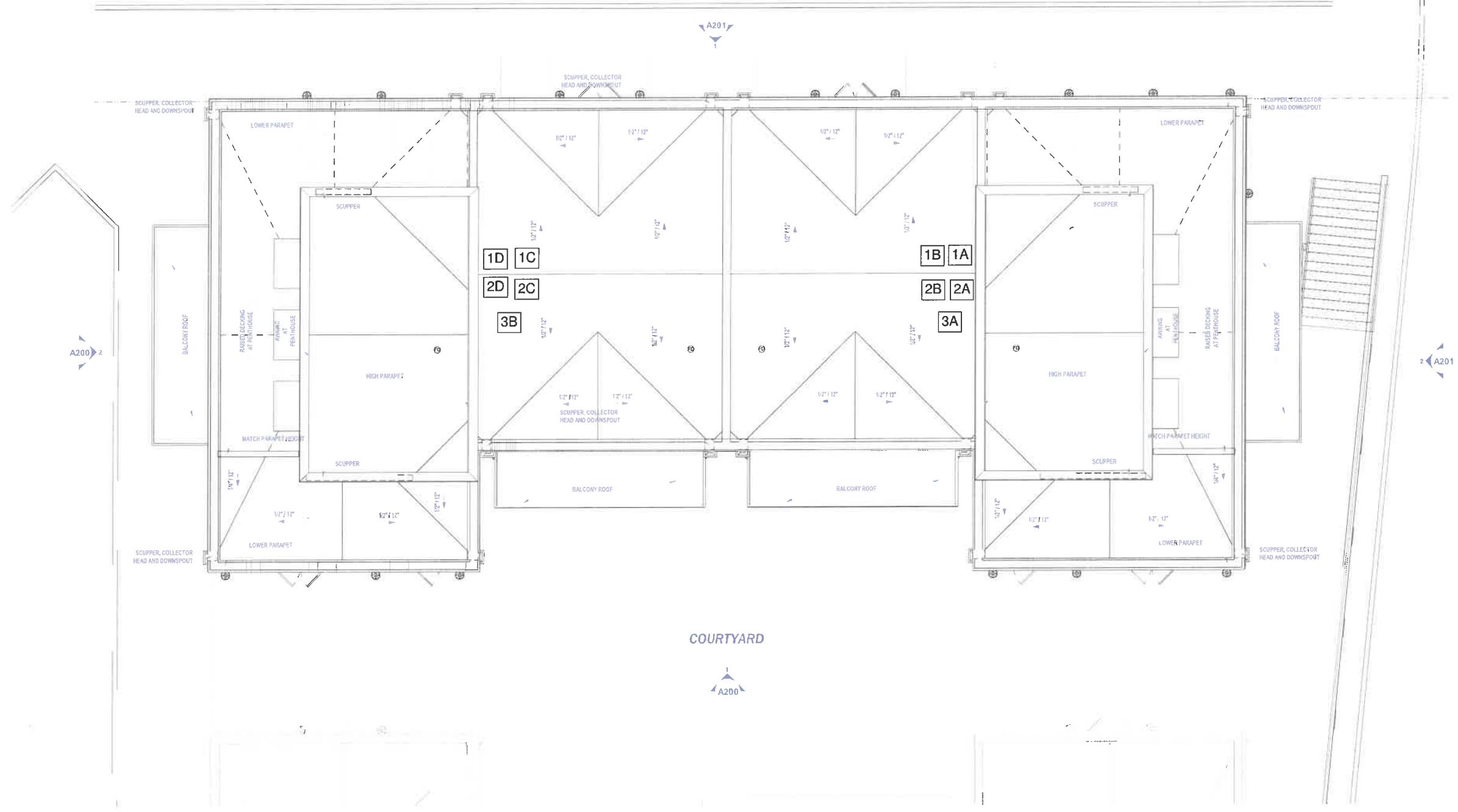
**MATERIALS KEY**

[Symbol]	2x4 WOOD FRAMING
[Symbol]	2x6 WOOD FRAMING
[Symbol]	2x8 WOOD FRAMING
[Symbol]	4" C M U
[Symbol]	INDIANA LIMESTONE
[Symbol]	CASEWORK BY OTHERS
[Symbol]	FIREBRICK



**57 EAST - BUILDING A**

JEFFERSON\_BROWN



**1 ROOF**  
SCALE OF: 1/8" = 1'-0"

PROJECT NO. 4464



DESIGN REVIEW  
NOT RELEASED FOR CONSTRUCTION  
MARCH 24, 2026

REVISIONS

- NOTES
- 1.
  - 2.
  - 3.

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PROJECT NORTH TRUE NORTH



SCALE As Indicated

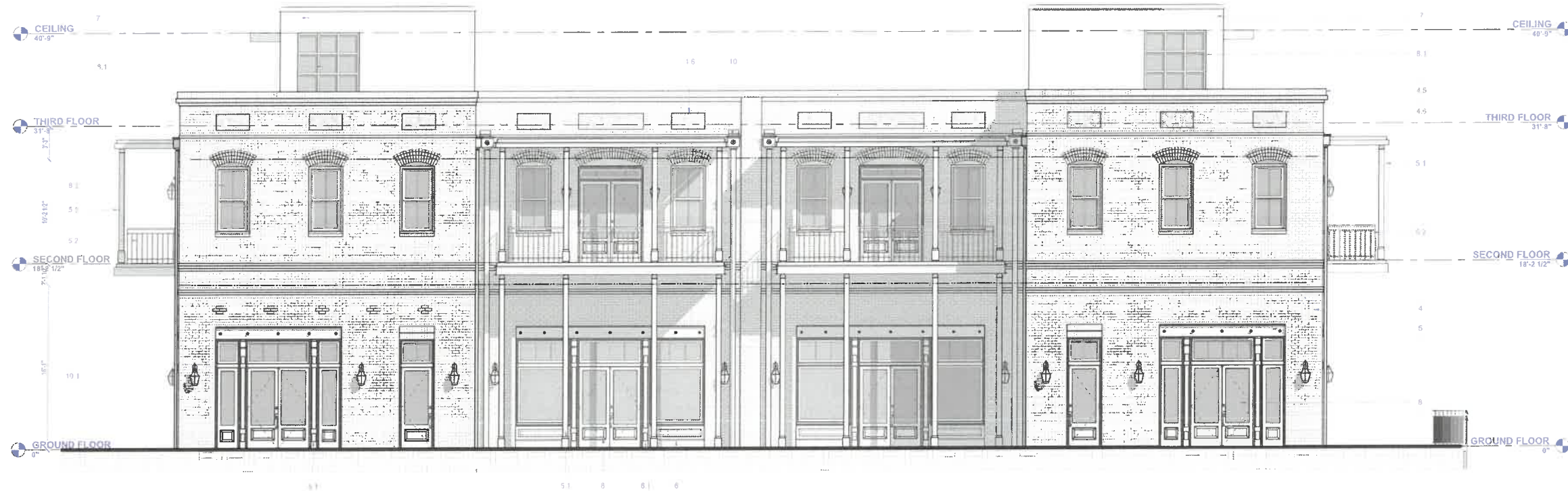
FLOOR PLANS

**A105**

SHEET NO. ©2026



57 EAST - BUILDING A



**ELEVATION - SOUTH**  
 Brick: 2,752.36 SF - 63%  
 Door/Window: 1,071.02 SF - 25%  
 Steel Lintel: 79.45 SF - 2%  
 Judges Panel Trim: 441.35 SF - 10%  
 Total Elevation Area: 4,344.18 GSF

**1 ELEVATION : SOUTH (COURTYARD)**  
 SCALE OF: 3/16" = 1'-0"



**ELEVATION - WEST**  
 Brick: 1,625.04 SF - 62%  
 Door/Window: 637.49 SF - 25%  
 Steel Lintel: 22.47 SF - 1%  
 Judges Panel Trim: 315.26 SF - 12%  
 Total Elevation Area: 2,600.26 GSF

**2 ELEVATION : WEST (FOUNDRY WAY)**  
 SCALE OF: 3/16" = 1'-0"

BUILDING A - MATERIAL PERCENTAGE CALCULATIONS - WHOLE BUILDING				Overall Wall Total GSF: ± 14,948.91 GSF
Brick: (S) ± 2,752.36 SF	Door / Window Opening: (S) ± 1,071.02 SF	Steel Lintel: (W) ± 22.47 SF	Judges Panel Trim: (S) ± 441.35 SF	
(W) ± 1,625.04 SF	(W) ± 637.49 SF	(N) ± 84.04 SF	(W) ± 315.26 SF	
(N) ± 3,578.42 SF	(E) ± 1,124.92 SF	(E) ± 995.55 SF	(E) ± 464.56 SF	
(E) ± 1,842.68 SF	(E) ± 595.55 SF	(E) ± 17.43 SF	(E) ± 289.87 SF	
<b>Total:</b> ± 9,798.50 SF - 66%	<b>Total:</b> ± 3,430.98 SF - 23%	<b>Total:</b> ± 203.39 SF - 1%	<b>Total:</b> ± 1,511.04 SF - 10%	

BUILDING A - MATERIAL PERCENTAGE CALCULATIONS - PER ELEVATION			
<b>ELEVATION - SOUTH</b> Brick: 2,752.36 SF - 63% Door/Window: 1,071.02 SF - 25% Steel Lintel: 79.45 SF - 2% Judges Panel Trim: 441.35 SF - 10% Total Elevation Area: 4,344.18 GSF	<b>ELEVATION - WEST</b> Brick: 1,625.04 SF - 62% Door/Window: 637.49 SF - 25% Steel Lintel: 22.47 SF - 1% Judges Panel Trim: 315.26 SF - 12% Total Elevation Area: 2,600.26 GSF	<b>ELEVATION - NORTH</b> Brick: 3,578.42 SF - 68% Door/Window: 1,124.92 SF - 21% Steel Lintel: 84.04 SF - 2% Judges Panel Trim: 464.56 SF - 9% Total Elevation Area: 5,253.94 GSF	<b>ELEVATION - EAST</b> Brick: 1,842.68 SF - 67% Door/Window: 595.55 SF - 22% Steel Lintel: 17.43 SF - 1% Judges Panel Trim: 289.87 SF - 10% Total Elevation Area: 2,745.53 GSF

KEYNOTE LEGEND	
NO. #	DESCRIPTION
1	QUEEN BRICK VENEER
1.1	QUEEN BRICK SCUPPER HEADER
1.2	QUEEN BRICK ROWLOCK SILL SLOPED
1.3	QUEEN BRICK VENEER BRICK CORBEL
1.4	SEGMENTAL BRICK ARCH
1.5	CORBELLED SOLDIER AND ROWLOCK BRICK CORNICE
1.6	RECESSED MASONRY PANEL
2	STRUCTURAL C CHANNEL BRICK LINIE
3	STRUCTURAL WROUGHT IRON COLUMN
4	BRICK-ON-CEILING
5	JUDGES PANEL BUILT-UP COMPOSITE TRIM
6	PILASTER BUILT-UP COMPOSITE TRIM
7	MINERAL FIBER CEMENT SIDING PANELS AND BATTENS
8	WOOD DOOR AND MATCHING WOOD TRANSOM STAINED
9	ALUMINUM CLAD WOOD FIXED WINDOW AND MATCHING TRANSOM W/ BRICK SILL
10	ALUMINUM CLAD WOOD DOUBLE HUNG WINDOW W/ BRICK SILL
11	THRU WALL SCUPPER TO COPPER CONDUCTOR AND DOWNSPOUTS
12	COPPER WALL LANTERN WITH SINGLE GAS BURNER

PROJECT NO. 4464



REVISIONS

NOTES  
 1.  
 2.  
 3.

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PROJECT NORTH TRUE NORTH

SCALE As Indicated

**BUILDING ELEVATIONS**  
**A200**

SHEET NO. ©2028



57 EAST - BUILDING A

JEFFERSON ARCHITECTURE



**ELEVATION - NORTH**  
 Brick: 3,578.42 SF - 68%  
 Door/Window: 1,126.92 SF - 21%  
 Steel Lintel: 84.04 SF - 2%  
 Judges Panel Trim: 464.56 SF - 9%  
 Total Elevation Area: 5,253.94 GSF

**1 ELEVATION : NORTH (BROAD ST)**  
 SCALE OF: 3/16" = 1'-0"



**ELEVATION - EAST**  
 Brick: 1,842.68 SF - 67%  
 Door/Window: 595.55 SF - 22%  
 Steel Lintel: 17.43 SF - 1%  
 Judges Panel Trim: 289.87 SF - 10%  
 Total Elevation Area: 2,745.53 GSF

**2 ELEVATION : EAST (TRACK)**  
 SCALE OF: 3/16" = 1'-0"

BUILDING A - MATERIAL PERCENTAGE CALCULATIONS - WHOLE BUILDING				Overall Wall Total GSF: ± 14,943.91 GSF
Brick: (S) - ± 2,752.36 SF	Door / Window Opening: (S) - ± 1,071.02 SF	Steel Lintel: (S) - ± 79.45 SF	Judges Panel Trim: (S) - ± 441.35 SF	
(W) - ± 1,625.04 SF	(W) - ± 637.49 SF	(W) - ± 22.47 SF	(W) - ± 215.26 SF	
(N) - ± 3,578.42 SF	(N) - ± 1,126.92 SF	(N) - ± 84.04 SF	(N) - ± 464.56 SF	
(E) - ± 1,842.68 SF	(E) - ± 595.55 SF	(E) - ± 17.43 SF	(E) - ± 289.87 SF	
<b>Total: ± 9,798.50 SF - 66%</b>	<b>Total: ± 3,430.98 SF - 23%</b>	<b>Total: ± 203.39 SF - 1%</b>	<b>Total: ± 1,511.04 SF - 10%</b>	

BUILDING A - MATERIAL PERCENTAGE CALCULATIONS - PER ELEVATION			
<b>ELEVATION - SOUTH</b> Brick: 2,752.36 SF - 63% Door/Window: 1,071.02 SF - 25% Steel Lintel: 79.45 SF - 2% Judges Panel Trim: 441.35 SF - 10% Total Elevation Area: 4,344.18 GSF	<b>ELEVATION - WEST</b> Brick: 1,625.04 SF - 62% Door/Window: 637.49 SF - 25% Steel Lintel: 22.47 SF - 1% Judges Panel Trim: 315.26 SF - 12% Total Elevation Area: 2,600.26 GSF	<b>ELEVATION - NORTH</b> Brick: 3,578.42 SF - 68% Door/Window: 1,126.92 SF - 21% Steel Lintel: 84.04 SF - 2% Judges Panel Trim: 464.56 SF - 9% Total Elevation Area: 5,253.94 GSF	<b>ELEVATION - EAST</b> Brick: 1,842.68 SF - 67% Door/Window: 595.55 SF - 22% Steel Lintel: 17.43 SF - 1% Judges Panel Trim: 289.87 SF - 10% Total Elevation Area: 2,745.53 GSF

KEYNOTE LEGEND	
NO. #	DESCRIPTION
4.1	QUEEN BRICK VENEER
4.2	QUEEN BRICK CROWNLOCK SILL SLOPED
4.3	QUEEN BRICK VENEER BRICK CORBEL
4.4	SEGMENTAL BRICK ARCH
4.5	CORNBELLED SOLDIER AND ROWLOCK BRICK CORNICE
4.7	CUT STONE VENEER ON CONCRETE FOUNDATION WALL
5	STRUCTURAL CHANNEL BRICK LINTEL
5.1	STRUCTURAL WROUGHT IRON COLUMN
5.2	WROUGHT IRON RAILING
6	FLUTES PANEL GUT FLIP COMPOSITE TRIM
7	MINERAL FIBER CEMENT SIDING PANELS AND BATTERS
8.1	ALUMINUM CLAD WOOD FIXED WINDOW AND MATCHING TRANSOM W/ BRICK MOULD
8.2	ALUMINUM CLAD WOOD DOUBLE HUNG WINDOW W/ BRICK MOULD
9	TRIM WALL SCULPTOR TO COPPER CONDUCTOR AND DOWNSPOUTS
10.1	COPPER WALL LANTERN W/ IN SINGLE GAS BURNER
10.2	CAST IRON STRUCTURAL "SEISMO" RETAINING STAIRS AND PATTERNS PLATES

PROJECT NO. 4464

DESIGN REVIEW  
 NOT RELEASED FOR CONSTRUCTION  
 MARCH 24, 2026

REVISIONS

NOTES  
 1.  
 2.  
 3.

PROJECT NORTH TRUE NORTH

SCALE As Indicated

**BUILDING ELEVATIONS**  
**A201**

SHEET NO. 02026

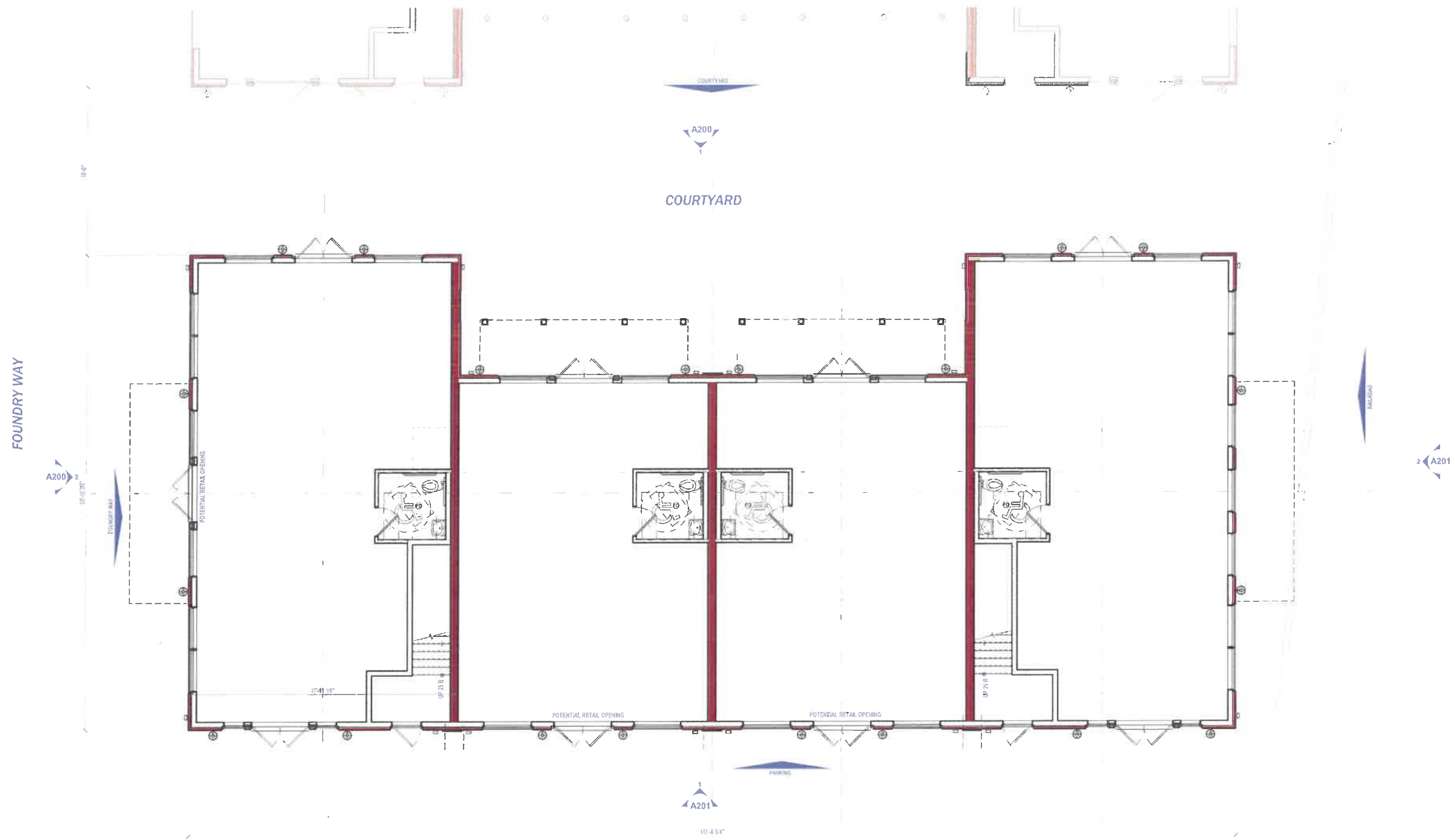
**MATERIALS KEY**

-  2x4 WOOD FRAMING
-  2x6 WOOD FRAMING
-  2x8 WOOD FRAMING
-  1" CMU
-  INDIANA LIMESTONE
-  CASEWORK BY OTHERS
-  FIREBRICK



**57 EAST - BUILDING B**

MEMPHIS, GEORGIA



**1 FLOOR PLAN : GROUND FLOOR**  
SCALE OF: 1/8" = 1'-0"

FFE = 971.0'

PROJECT NO. 4260



DESIGN REVIEW  
NOT RELEASED FOR CONSTRUCTION  
MARCH 24, 2025

**REVISIONS**

**NOTES**

1. -
2. -
3. -

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PROJECT NORTH TRUE NORTH





SCALE As Indicated

**FLOOR PLANS**

**A102**

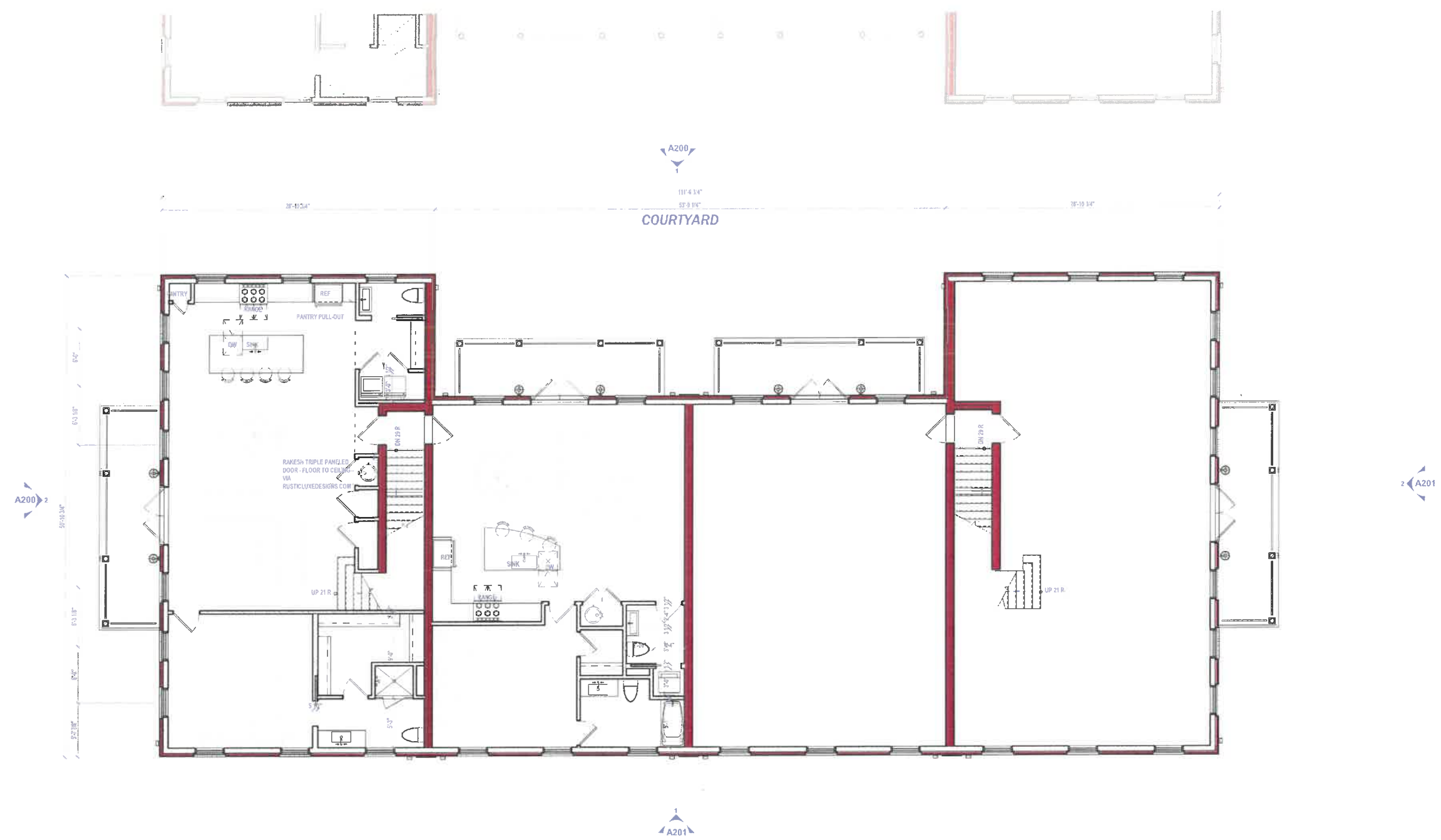
SHEET NO. ©2025

**MATERIALS KEY**

-  2x4 WOOD FRAMING
-  2x6 WOOD FRAMING
-  2x8 WOOD FRAMING
-  1" x 4" C M U
-  INDIANA LIMESTONE
-  CASWORK BY OTHERS
-  FIREBRICK



**57 EAST - BUILDING B**



**1 FLOOR PLAN : SECOND FLOOR**  
SCALE OF: 1/16" = 1'-0"

PROJECT NO. 4260



DESIGN REVIEW  
NOT RELEASED FOR CONSTRUCTION  
MARCH 24, 2025

REVISIONS

- NOTES
- 1.
  - 2.
  - 3.

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PROJECT NORTH TRUE NORTH

SCALE As Indicated

FLOOR PLANS

**A103**

SHEET NO. ©2025

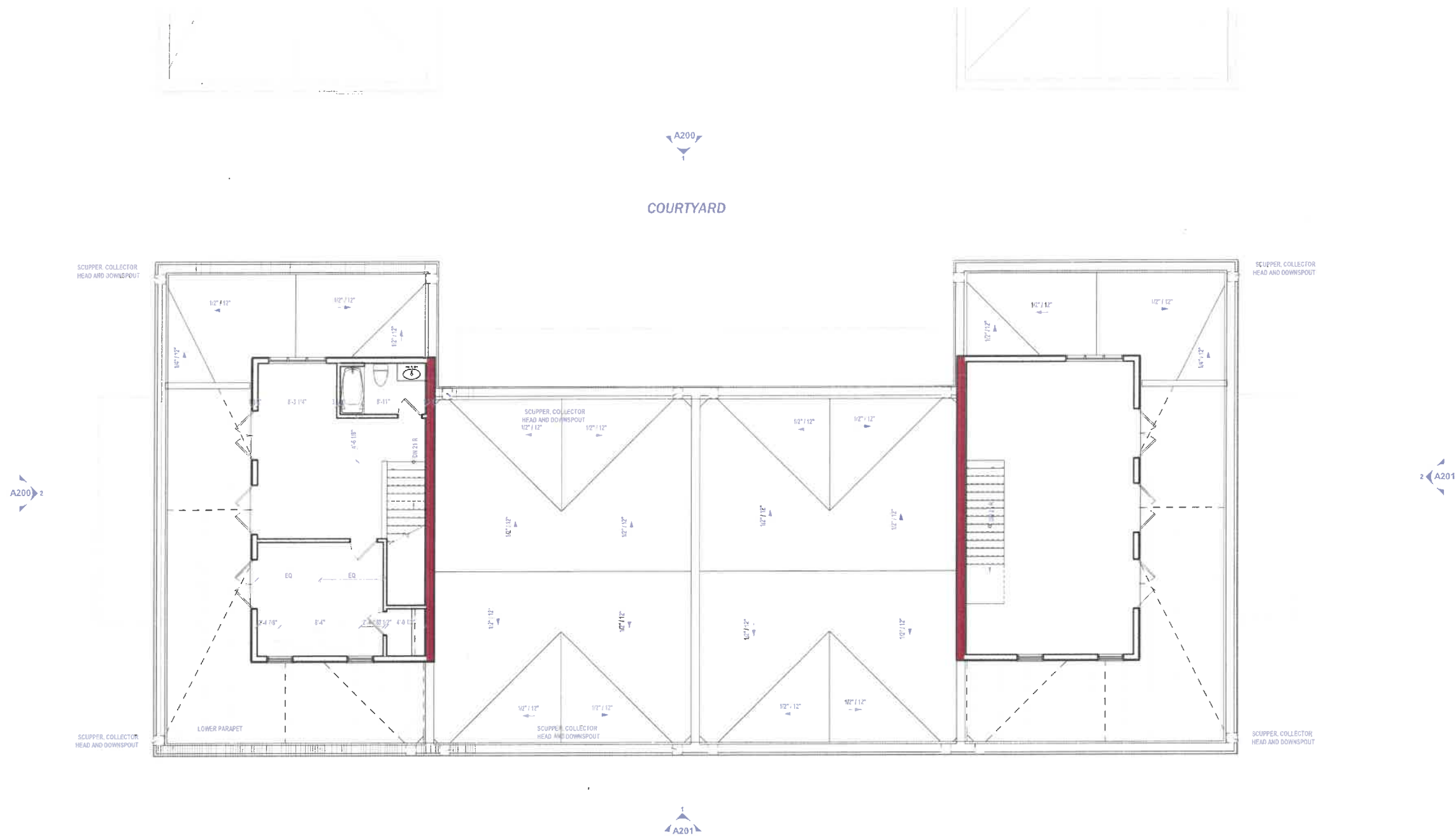
**MATERIALS KEY**

-  2x4 WOOD FRAMING
-  2x6 WOOD FRAMING
-  2x8 WOOD FRAMING
-  4" x 4" CMU
-  INDIANA LIMESTONE
-  CASWORK BY OTHERS
-  FIREBRICK



# 57 EAST - BUILDING B

NEWARK, GEORGIA



**1** THIRD FLOOR  
SCALE OF: 3/16" = 1'-0"

PROJECT NO. 4260



DESIGN REVIEW  
NOT RELEASED FOR CONSTRUCTION  
MARCH 24, 2025

**REVISIONS**

**NOTES**

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PROJECT NORTH TRUE NORTH

SCALE As Indicated

**FLOOR PLANS**

# A104

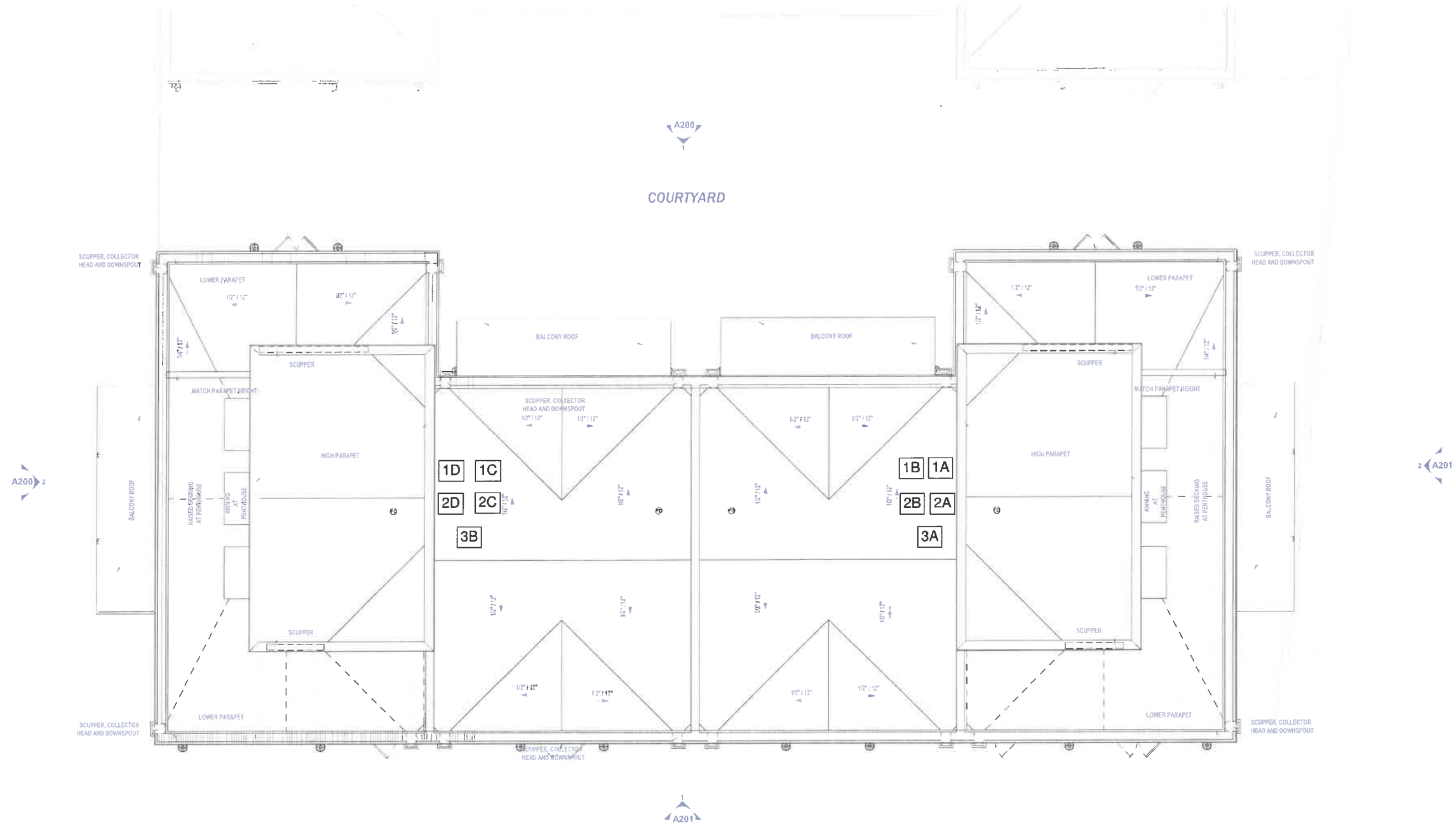
SHEET NO. ©2025

MATERIAL KEY	
	2x4 WOOD FRAMING
	2x6 WOOD FRAMING
	4x4 WOOD FRAMING
	INDIANA LIMESTONE
	CASEWORK BY OTHERS
	FIREBRICK



# 57 EAST - BUILDING B

NEWNAK, GEORGIA



**1 ROOF**  
SCALE OF: 3/16" = 1'-0"

PROJECT NO. 4260



DESIGN REVIEW  
NOT RELEASED FOR CONSTRUCTION  
MARCH 24, 2026

REVISIONS

NOTES  
1.  
2.  
3.

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PROJECT NORTH TRUE NORTH

SCALE As Indicated

FLOOR PLANS

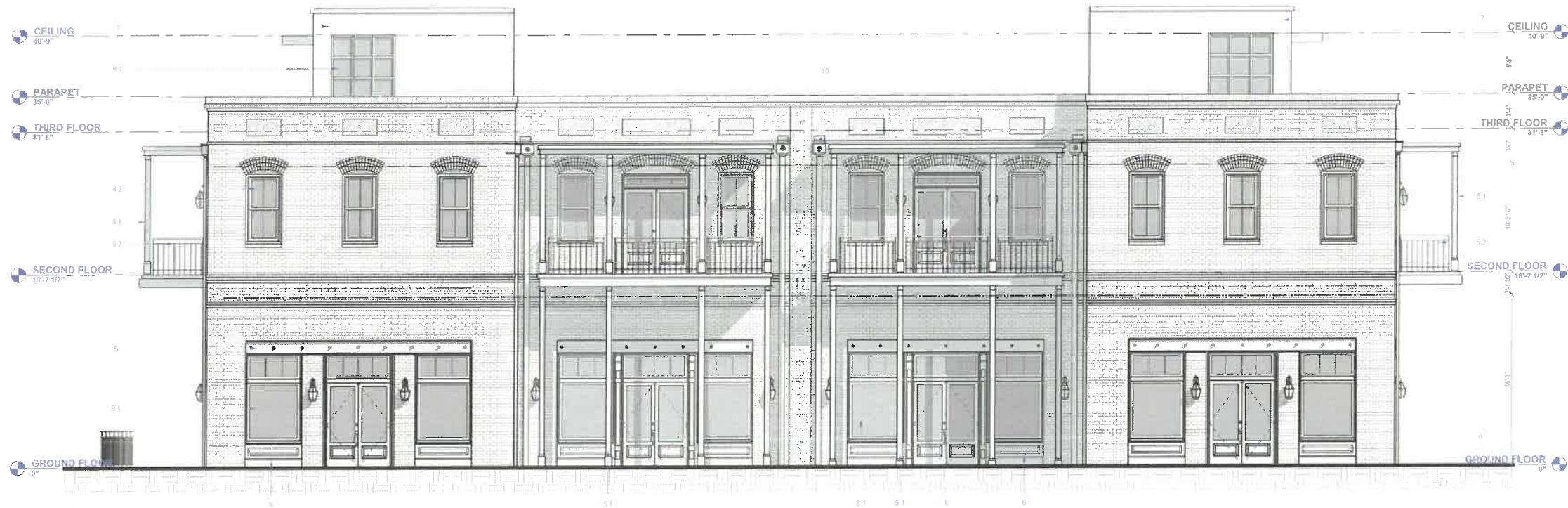
# A105

SHEET NO. 02025



57 EAST - BUILDING B

NEWARK, GEORGIA



1 ELEVATION : NORTH (COURTYARD)  
SCALE OF: 3/16" = 1'-0"

**ELEVATION - NORTH**  
 Brick: 2,702.10 SF - 62%  
 Door/Window: 1,045.24 SF - 24%  
 Steel Lintel: 102.74 SF - 2%  
 Judges Panel Trim: 492.78 SF - 11%  
 Total Elevation Area: 4,342.86 GSF



2 ELEVATION : WEST (FOUNDRY WAY)  
SCALE OF: 3/16" = 1'-0"

**ELEVATION - WEST**  
 Brick: 1,623.04 SF - 63%  
 Door/Window: 636.78 SF - 24%  
 Steel Lintel: 22.55 SF - 1%  
 Judges Panel Trim: 315.26 SF - 12%  
 Total Elevation Area: 2,599.63 GSF

**MATERIAL PERCENTAGE CALCULATIONS - WHOLE BUILDING**

Overall Wall Total GSF: ± 13,863.84 GSF		
<b>Brick:</b>	<b>Door / Window Opening:</b>	<b>Steel Lintel:</b>
(S) - ± 2,843.08 SF	(S) - ± 963.92 SF	(S) - ± 84.04 SF
(N) - ± 1,623.04 SF	(N) - ± 636.78 SF	(N) - ± 22.55 SF
(W) - ± 2,702.10 SF	(W) - ± 1,045.24 SF	(W) - ± 102.74 SF
(E) - ± 1,674.59 SF	(E) - ± 597.37 SF	(E) - ± 17.43 SF
<b>Total:</b>	<b>Total:</b>	<b>Total:</b>
± 8,844.81 SF - 64%	± 3,243.31 SF - 23%	± 226.76 SF - 2%
		<b>Judges Panel Trim:</b>
		(S) - ± 448.81 SF
		(N) - ± 315.26 SF
		(W) - ± 492.78 SF
		(E) - ± 312.11 SF
		<b>Total:</b>
		± 1,568.96 SF - 11%

**MATERIAL PERCENTAGE CALCULATIONS - PER ELEVATION**

ELEVATION - SOUTH	ELEVATION - WEST	ELEVATION - NORTH	ELEVATION - EAST
Brick: 2,843.08 SF - 66%	Brick: 1,623.04 SF - 63%	Brick: 2,702.10 SF - 62%	Brick: 1,674.59 SF - 64%
Door/Window: 963.92 SF - 22%	Door/Window: 636.78 SF - 24%	Door/Window: 1,045.24 SF - 24%	Door/Window: 597.37 SF - 23%
Steel Lintel: 84.04 SF - 2%	Steel Lintel: 22.55 SF - 1%	Steel Lintel: 102.74 SF - 2%	Steel Lintel: 17.43 SF - 1%
Judges Panel Trim: 448.81 SF - 10%	Judges Panel Trim: 315.26 SF - 12%	Judges Panel Trim: 492.78 SF - 11%	Judges Panel Trim: 312.11 SF - 12%
<b>Total Elevation Area: 4,339.85 GSF</b>	<b>Total Elevation Area: 2,599.63 GSF</b>	<b>Total Elevation Area: 4,342.86 GSF</b>	<b>Total Elevation Area: 2,601.5 GSF</b>

**KEYNOTE LEGEND**

NO. #	DESCRIPTION
1	GREEN BRICK VENER
1.1	GREEN BRICK SOLDER HEADER
2	GREEN BRICK ROWLOCK SILL SLOPED
3	QUEEN BRICK VENER BRICK CORBEL
4	SEGMENTAL BRICK ARCH
5	CORBELLED SOLDER AND ROWLOCK BRICK CORNICE
4A	RECESSED MASONRY PANEL
6	STRUCTURAL C CHANNEL BRICK LIME
6.1	STRUCTURAL WROUGHT IRON COLUMN
6.2	WROUGHT IRON TRIMLINE
7	RODGE PANEL SUN-TAPP COMPOSITE TRIM
7	MINERAL-FIBER CEMENT SIDING PANELS AND BATTENS
8	WOOD DOOR AND MATCH-ING WOOD TRANSOM, STAINED
8.1	ALUMINUM CLAD WOOD FINED WINDOW AND MATCHING TRANSOM W/ BRICK MOUNT
8.2	ALUMINUM CLAD WOOD DOUBLE HUNG WINDOW W/ BRICK MOUNT
10	TRIAL WALL SCUPPER TO COPPER CONDUCTOR AND DOWNSPOUTS
10.1	COPPER WALL LANTERN WITH SINGLE GAS BURVER

PROJECT NO. 4260



REVISIONS

NOTES

- 1.-
- 2.-
- 3.-

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PROJECT NORTH TRUE NORTH

SCALE As Indicated

BUILDING ELEVATIONS

A200

SHEET NO. ©2025



57 EAST - BUILDING B

NEWARK, GEORGIA



**1 ELEVATION : SOUTH (MARKET)**  
SCALE OF: 3/16" = 1' 0"

**ELEVATION - SOUTH**  
Brick: 2,843.08 SF - 66%  
Door/Window: 963.92 SF - 22%  
Steel Linel: 84.04 SF - 2%  
Judges Panel Trim: 448.81 SF - 10%  
  
Total Elevation Area: 4,339.85 GSF



**2 ELEVATION : EAST (TRACK)**  
SCALE OF: 3/16" = 1' 0"

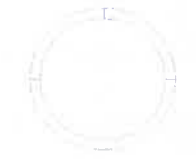
**ELEVATION - EAST**  
Brick: 1,674.59 SF - 64%  
Door/Window: 597.37 SF - 23%  
Steel Linel: 17.43 SF - 1%  
Judges Panel Trim: 312.11 SF - 12%  
  
Total Elevation Area: 2,601.5 GSF

MATERIAL PERCENTAGE CALCULATIONS - WHOLE BUILDING			Overall Wall Total GSF: ± 13,883.84 GSF
Brick: (S) - ± 2,843.08 SF	Door / Window Opening: (S) - ± 963.92 SF	Steel Linel: (S) - ± 84.04 SF	Judges Panel Trim: (S) - ± 448.81 SF
(W) - ± 1,625.04 SF	(W) - ± 626.78 SF	(W) - ± 22.55 SF	(W) - ± 315.38 SF
(N) - ± 2,702.10 SF	(N) - ± 1,045.24 SF	(N) - ± 102.74 SF	(N) - ± 492.78 SF
(E) - ± 1,674.59 SF	(E) - ± 597.37 SF	(E) - ± 17.43 SF	(E) - ± 312.11 SF
<b>Total: ± 8,844.81 SF - 64%</b>	<b>Total: ± 3,243.31 SF - 23%</b>	<b>Total: ± 226.76 SF - 2%</b>	<b>Total: ± 1,568.96 SF - 11%</b>

MATERIAL PERCENTAGE CALCULATIONS - PER ELEVATION			
<b>ELEVATION - SOUTH</b> Brick: 2,843.08 SF - 66% Door/Window: 963.92 SF - 22% Steel Linel: 84.04 SF - 2% Judges Panel Trim: 448.81 SF - 10%  Total Elevation Area: 4,339.85 GSF	<b>ELEVATION - WEST</b> Brick: 1,625.04 SF - 63% Door/Window: 636.78 SF - 24% Steel Linel: 22.55 SF - 1% Judges Panel Trim: 315.26 SF - 12%  Total Elevation Area: 2,599.63 GSF	<b>ELEVATION - NORTH</b> Brick: 2,702.10 SF - 62% Door/Window: 1,045.24 SF - 24% Steel Linel: 102.74 SF - 2% Judges Panel Trim: 492.78 SF - 11%  Total Elevation Area: 4,342.86 GSF	<b>ELEVATION - EAST</b> Brick: 1,674.59 SF - 64% Door/Window: 597.37 SF - 23% Steel Linel: 17.43 SF - 1% Judges Panel Trim: 312.11 SF - 12%  Total Elevation Area: 2,601.5 GSF

KEYNOTE LEGEND	
NO. #	DESCRIPTION
1	GREEN BRICK VENEER
1.1	QUEEN BRICK SOLDIER HEADS
2	QUEEN BRICK ROWLOCK SILL SLOPED
4.3	QUEEN BRICK VENEER BRICK CORBEL
4.4	SEGMENTAL BRICK ARCH
4.5	CORBELED SOLDIER AND ROWLOCK BRICK CORNICE
4.6	RECESSED MASONRY PANEL
5	STRUCTURAL C-C CHANNEL BRICK LINTE
5.1	STRUCTURAL WROUGHT IRON COLUMN
5.2	WROUGHT IRON PANELS
5	JUDGES PANELS BUILT-UP COMPOSITE TRIM
5.1	PLASTER BUILT-UP COMPOSITE TRIM
7	MINERAL FIBER CEMENT SIDING PANELS AND BATTENS
3	WOOD DOOR AND MATCHING WOOD TRANSOM STAINED
8.1	ALUMINUM CLAD WOOD FIXED WINDOW AND MATCHING TRANSOM W BRICK MULL
1.2	ALUMINUM CLAD WOOD DOUBLE HUNG WINDOW W BRICK MULL
10	THRU WALL SCUPPER TO COPPER CONDUCTOR AND DOWNSPOUTS
10.1	COPPER WALL LANTERN WITH SINGLE GAS BURNER

PROJECT NO. 4260



DESIGN REVIEW  
NOT RELEASED FOR CONSTRUCTION  
MARCH 24, 2025

REVISIONS

NOTES  
1.  
2.  
3.

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PROJECT NORTH TRUE NORTH

SCALE As Indicated

**BUILDING ELEVATIONS**  
**A201**

SHEET NO. ©2025



CONCEPTUAL RENDERINGS

57 EAST\_MIXED-USED BUILDINGS A & B + MARKET BUILDING D - NEWNAN, GEORGIA

MARCH 16TH, 2026





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## City of Newnan, Georgia – Planning Commission

Date: May 12, 2026

Agenda Item: Certificate of Appropriateness – 112 Lagrange Street

Prepared by: Dean Smith, Senior Planner

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**Purpose:** This item involves a request to amend a prior Certificate of Appropriateness approval from the Planning Commission in September, 2025. The applicant is requesting relief from a condition imposed by the Commission at that meeting of using brick for a portion of the structure.

**Background:** Jennifer Shelton has submitted an application requesting to amend the prior approval. In Ms. Shelton’s application, she is requesting approval to substitute siding for brick on the bottom half of the garage side of the new home.

Any alterations from the original Certificate of Appropriateness approval must come back to the Planning Commission for review and consideration.

### **Options:**

- A. Approve the amended certificate of appropriateness request for 112 Lagrange Street.
- B. Approve the certificate of appropriateness with conditions.
- C. Deny the certificate of appropriateness request.

**Recommendation:** Staff reviewed the certificate of appropriateness request and found it to be consistent with the standards governing renovations to structures in the Historic Residential Overlay Design District.

**Attachments:** Certificate of Appropriateness Application and attachments

**Previous Discussions with Commission:** July 12, 2016, November 8, 2022, and September 9, 2025.



CITY OF NEWNAN, GEORGIA

25 LaGrange Street
Newnan, Georgia 30263
770-254-2354



APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

Address of Property 112 Lagrange St. Newnan Ga 30263

Name of Applicant Jennifer Shelton

Mailing Address 160 Hunterian Pl. Newnan Ga 30265

Telephone (678) 283-1447

Property Owner (Use back if multiple names) Jennifer Shelton

Mailing Address 160 Hunterian Pl Newnan GA 30265

Telephone (678) 283-1447

Map # N Block # Parcel # Land Lot

District/Section Present Zoning Classification

Present Land Use

No material change in the appearance of such historic property, or of a contributing or non-contributing building, structure, site or object within such historic district, shall be made or permitted to be made by the owner or occupant thereof, unless or until the application for a Certificate of Appropriateness has been submitted and approved by the Planning Commission.

If you have any questions concerning this process, you may call the Planning and Zoning Department at (770) 254-2354. Office hours are 8:00 a.m. to 5:00 p.m., Monday through Friday. The Planning Commission meets on the second Tuesday of each month. Applications must be submitted by 5:00 PM on the 15th day of the month prior to the month in which the application will be considered. Incomplete applications or applications submitted after the deadline will not be accepted.

NATURE OF PROPOSED WORK:

- New Construction
Repairs or Alterations
Demolition
Relocation of Building
Sign Erection or Placement
Other

Please describe the proposed Work to be Done (Use Additional Sheets if Necessary): Alteration from original approval.

At original meeting I was asked by a member to brick the bottom half of the house on the garage side of the home. At the time I agreed. Unfortunately a lot of unforeseen added expenses have happened making it impossible financially for me to do it.

In addition to that now that the home is there and I see it I feel like aesthetically to do brick would just not look well. It will look random like why would you only brick that one area of the house and nothing else. There are several only siding homes in the area so it will still be in line with the aesthetic of the area. I attached some I can see from my house and some on Alpine Ct. For reference

Included with the application, the following information is required:

- ✓ A completed application for Certificate of Approval.
- ✓ A conceptual site plan showing all buildings, parking, buffers, driveways and other information pertinent to the development of the site.
- ✓ Elevation drawings which shall include dimensions of all sides of existing and proposed structures, all related accessory structures to be developed or placed on the site including but not limited to solid waste and recycling containment areas, electrical service transformers, air conditioning units, satellite dishes and other utility or mechanical equipment. Locations of screening materials shall be clearly noted. This shall apply to both structures and equipment at grade or placed on roof tops.
- ✓ The exterior finish material selection for each building shall be clearly noted for each elevation and may be illustrated using a detail inset.
- ✓ To aid in evaluating the exterior design, the applicant shall submit schematic floor plans showing window, door and loading dock locations and other exterior features that clearly define the intent of the completed exterior of the structure.
- ✓ Colored renderings clearly indicating color choices or exterior building and finish material samples may be submitted.
- ✓ Sign packages which meet the requirements of this ordinance. (if applicable for non-residential projects)
- ✓ Photos of neighboring properties to ensure compatibility with the proposed design.
- ✓ Plat of property, illustrating existing development and proposed development;
- ✓ Demolition or relocation projects must be accompanied by post-demolition or relocation plans for the site;
- ✓ Other information as may be deemed necessary by the Zoning Administrator to evaluate the appearance of the completed structure, and;
- ✓ Check for applicable fee of \$150 per application.

I (We) do hereby certify the information provided herein is both complete and accurate to the best of my (our) knowledge, and I (we) understand any inaccuracies may be considered just cause for invalidation of this application, and any action taken on this application. I further understand that any modifications, changes or alterations to the approved COA must be submitted to the City of Newnan's Planning Department before commencing or proceeding with any work to determine if said changes would need to return to the City of Newnan's Planning Commission for approval.

  
\_\_\_\_\_  
Signature of Applicant

  
\_\_\_\_\_  
Signature of Property Owner(s)



Homes on Alpine Ct.



Homes you  
can see  
From my house.

seconded the motion. Chairman West asked for clarification whether or not the motion was to approve with or without conditions. Commissioner Pulicare stated that it did include the conditions of securing the integrity of the neighbor's retaining wall and the changes to the materials as discussed with Ms. Conlan.

**MOTION CARRIED (3-1) Hamlin**

**Certificate of Appropriateness – 112 LaGrange Street**

Senior planner, Dean Smith, presented this case. Mr. Smith reminded the commissioners that the previous home on this lot was condemned in 2008. Two previous COAs were approved in 2016 and 2022 but were not realized. This certificate of appropriateness is on behalf of Jennifer Shelton. Ms. Shelton is seeking approval for a new residential project in the Historic Residential Design Overlay (HRDO) District. The eight factors of consideration were presented along with visual representations. Staff found this project to be consistent with the outlined standards. Options presented for this case were: approval, approval with conditions, or denial of the request.

The applicant, Ms. Shelton, came forward. She stated that Mr. Smith gave a good overview of the project and that she just wants to build a pretty house on her property.

Commissioner Pulicare asked if the property is graded for a basement. Ms. Shelton replied that the previous home had a standing height crawl space, and the lot is sloped. Commissioner Hamlin asked if there would be a retaining wall on the property line. Ms. Shelton stated that there is currently a partial retaining wall, but her plans are to add a fence at a later time.

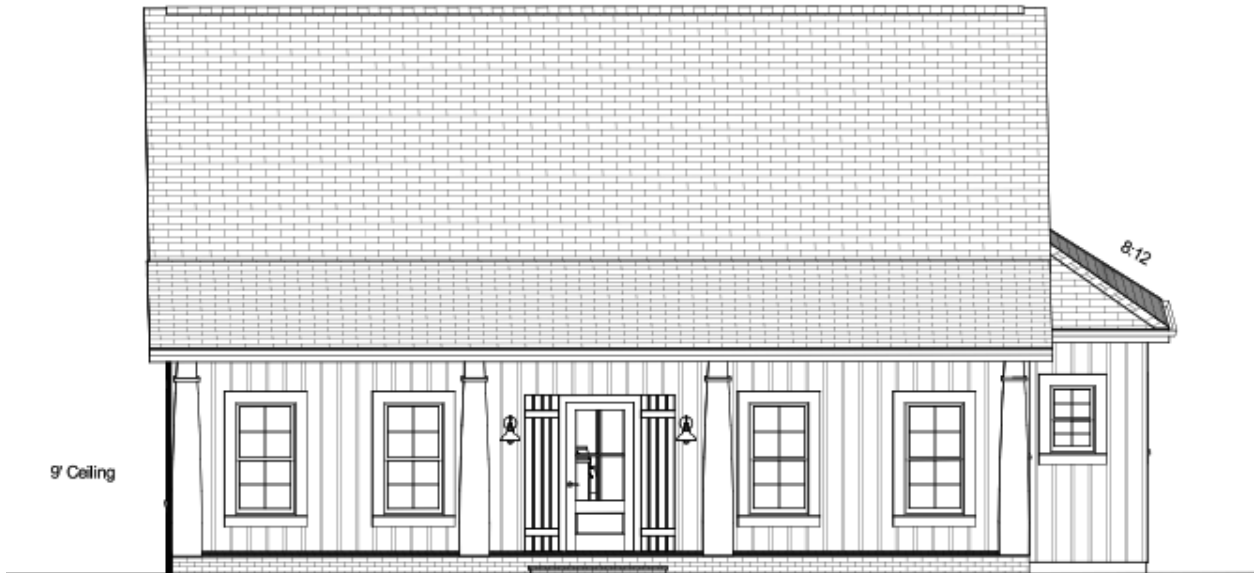
Commissioner Hamlin inquired about the exterior materials. Ms. Shelton supplied this information. She further explained her reasoning behind her design choices and the house/lot orientation. Ms. Shelton agreed to make amendments to the design aesthetics, following the commission's recommendations.

With no further questions, Chairman West asked if anyone would like to make a motion. Commissioner Hamlin made a motion to approve the COA request with the condition of adding brick on the garage side of the foundation/basement wall, facing Alpine Drive. Commissioner Pulicare seconded the motion with the stated conditions.

**MOTION CARRIED (4-0)**

**ADDITIONAL COMMENTS**

Commissioner Crain discussed an interest in following council's decisions, specifically related to the Planning Commission's recommendations. Ms. Dunnivant agreed to have Council meeting minutes provided for this purpose.



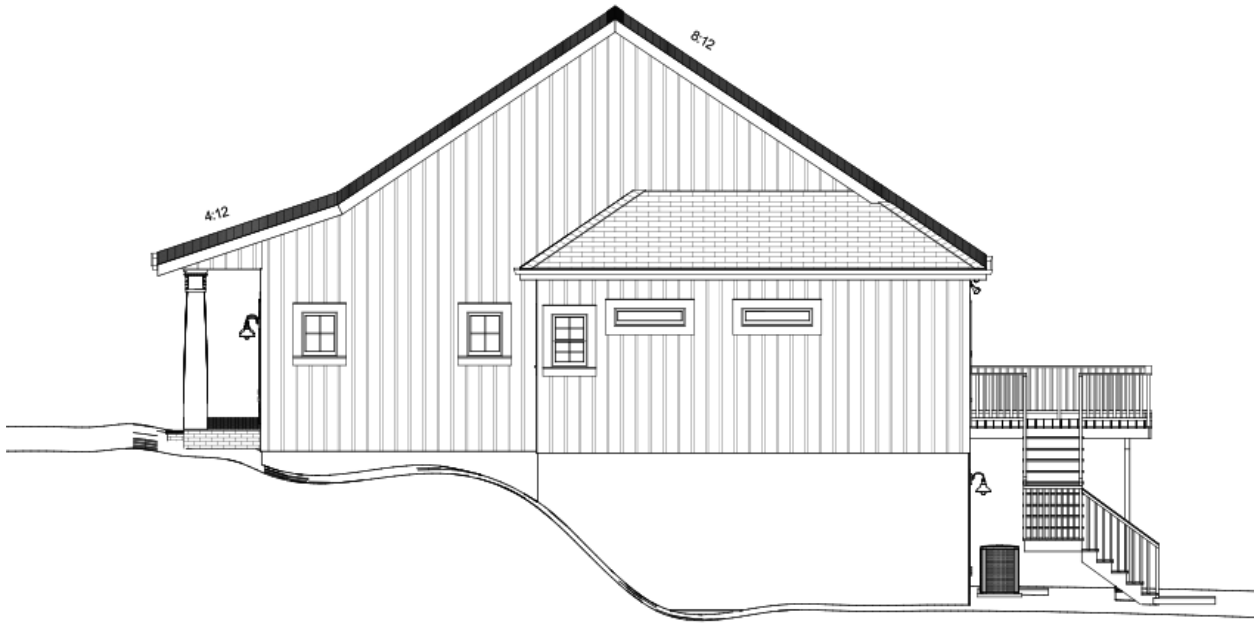
Front Elevation





Rear Elevation





Right Elevation





