



NEWNAN
GEORGIA • CITY OF HOMES

City of Newnan Planning Commission

Agenda for September 10, 2024 Planning Commission Meeting
7:00 PM, Richard A. Bolin Council Chambers, City Hall

1. Call to Order
2. Approval of Minutes
 - a. Minutes from the August 13, 2024 Meeting
3. Public Hearings
4. Other Business
 - a. Certificate of Appropriateness Request - 12 Savannah Street
 - b. Certificate of Appropriateness - 701 Newnan Crossing Bypass
5. Adjourn

Any questions prior to the meeting
should be directed to the Planning and Zoning Department.

Phone: 770-254-2354

E-mail: tdunnavant@newnanga.gov



**CITY OF NEWNAN
Planning Commission
Meeting Minutes**

August 13, 2024
7:00 p.m.

Commissioners Present: Alton West, Joe Crain, Jr., Robert Coggin, Fred Hamlin, John Pulicare

Commissioners Absent: Clay McEntire, Katie Frost

Others in Attendance: Tracy Dunnivant, Planning & Zoning Director
Dean Smith, Senior Planner
Brad Sears, City Attorney
Samantha Wood, Administrative Assistant Planning and Zoning

CALL TO ORDER

Chairman West called the meeting to order at 7:00 p.m. in the Richard A. Bolin Council Chambers, City Hall, 25 LaGrange Street.

READING OF MINUTES

Chairman West asked if everyone reviewed the July 9, 2024, meeting minutes. Commissioner Coggin made a motion to approve the minutes as drafted. Commissioner Crain seconded the motion.

MOTION CARRIED (5-0)

PUBLIC HEARINGS

Rezoning Request – RZ2024-02 – 0.48 ± acres located at 65 Millard Farmer Industrial Boulevard (a portion of tax parcel # N57A-091)

Chairman West opened the public hearing.

Dean Smith gave the staff report. He stated the applicant, Robert Dollar, has filed a petition to rezone a portion of property located at 65 Millard Farmer Industrial Boulevard from CGN (General Commercial District) to IHV (Heavy Industrial District) to add this portion onto the applicant's property located adjacently, which is already zoned IHV.

Smith said the applicant plans to use this property for additional storage space for their which is cargo container product. He added the applicant states there is no plan to build a structure on the property.

Smith reviewed the standards for consideration for rezonings and stated that the development meets 5 of the 8 standards. He added that if the Commission were to recommend this request to the City Council for approval, staff would suggest the following conditions be added:

- 1) The applicant would need to engage a surveyor to perform a minor property combination plat to combine the properties.
- 2) A 15-foot landscape buffer, can either be planted or undisturbed depending upon the existing site conditions, on the two western property lines of the subject site.

Commissioner Pulicare stated that he visited the site and wanted to know if the applicant intends to clear all the pine trees. He mentioned that the site would be highly visible from Millard Farmer.

Chairman West asked the applicant to come forward and present his case.

Robert Dollar came forward and stated that he was aware that there were concerns about stacking of the containers. He added that he just wants to use the property for storage.

Commissioner Pulicare asked if the 15-foot buffer would remain. Dollar stated yes.

Chairman West asked if the containers were for sale or rent. Dollar stated that there were some of both on the property.

Chairman West asked about the average length of time the containers remained on the lot. Dollar stated that he could not answer that because of the ebb and flow of supply and demand.

Chairman West asked if there was anyone present to speak in favor of or in opposition to the request.

Danee Simpson, 40 Braemore Lane, came forward and asked if the subject tract abutted her property. Dean Smith explained that her property is not adjacent to the property in question.

With no one else coming forward, Chairmen West closed the public hearing.

Commissioner Pulicare asked staff if there was a height requirement or limit on stacking of the containers. Dean Smith stated no, there is not.

Chairman West asked staff if the property could be used as currently zoned. Dean Smith stated yes but added that accessing the property is an issue.

Chairman West asked if it would have to be an impervious surface for storage. Smith stated that as currently zoned, it would have to be paved and curbed unless granted a variance.

Chairman West asked if the property was land locked. Dean Smith stated yes, it is, unless it gets combined with the applicant's property.

Commissioner Hamlin asked if there were any plans for the front part of the property that belongs to the Coweta Pool and Fireplace. Dollar stated no and added that the property would stay untouched.

Commissioner Crain asked if staff had received any negative feedback from the gas company. Smith stated that staff had not.

Commissioner Crain made a motion to recommend approval of the rezoning request at 65 Millard Farmer Industrial Boulevard (a portion of tax parcel #N57A-091) with the following conditions: 1) All conditions recommended by staff including that the landscape buffer on the western side of the property be approved by the City Landscape Architect. 2) The applicant would need to maintain an adequate screening buffer, including existing trees, to screen the view of the container units from Millard Farmer Industrial Boulevard. Commissioner Coggin seconded the motion.

MOTION CARRIED (5-0)

OTHER BUSINESS

Dunnavant stated that there would be a September meeting.

PUBLIC COMMENTS

None

ADJOURN

With no further business, the meeting adjourned at 7:27 p.m. on a motion from Commissioner Coggin and seconded by Commissioner Hamlin.

MOTION CARRIED (5-0)

Chairman



City of Newnan, Georgia – Planning Commission

Date: September 10, 2024

Agenda Item: Certificate of Appropriateness Request –12 Savannah Street

Prepared and Presented by: Chris Cole, Senior Planner

Purpose: To consider a certificate of appropriateness request from Paul Schwinne pertaining to the installation of a new glass recycling collection container at 12 Savannah Street, Tax Parcel No.: N12 0001 007.

Background: The subject property is an empty lot that contains parking spaces that were once used for previous uses. The subject property is owned by the Line Creek Brewing Company owners and is adjacent to their facility at 18 Savannah Street. The glass recycling collection container is shown as the area marked with a circle on the attached map (also seen with an arrow on the attached Location Map).

The container itself is a 22' x 8' metal bin with a dome top and contains six sliding doors. As seen in the applicant's supporting memorandum, Ripple Glass is providing this service to area residents at no cost to the City or community. It should be noted that the City currently does not offer glass recycling for its residents and businesses. Through the Ripple Glass model, the company will monitor fill rates through an in-bin camera and handle all hauling and logistics. The purple color is used by the company for all their units across the country as a way to enhance visibility. In this case, Ripple Glass is partnering with Line Creek Brewing Company as its host partner for not only the locational opportunity, but also to provide an on-the-ground presence. Please see the complete details in the attached supporting memorandum titled "Ripple Glass, LLC."

The Planning Commission must grant a certificate of appropriateness since the property lies within the *Downtown Design Overlay* district (DDO). The properties surrounding the site include a mixture of primarily retail, institutional, and office uses. The subject property is zoned *Central Business District* (CBD). The lots that comprise the block the subject site is located on are primarily zoned *Central Business District* (CBD), with a few lots zoned *Light Industrial* (ILT).

Issues for Consideration for a Certificate of Appropriateness:

In reviewing the request in terms of the new structure standards that were adopted for development in the *Downtown Design Overlay* district (DDO), staff addressed the following standards in terms of the work proposed at 12 Savannah Street:

- a) **Building Orientation and Setback** – The front of the unit will face the east side of the property (facing towards Line Creek Brewing Company). The use is categorized as "Recycling, designated collection center, neighborhood" and there is not a listed setback for such use in the Zoning Ordinance. In situations like this, the Zoning Ordinance requires staff to find the most similar category to utilize. "Refuse Disposal Containers and Pads" is the closest category to compare for setback purposes and it requires a setback of 5 feet from any adjacent non-

residentially zoned property. Accordingly, staff would ask the applicant to meet the 5-foot setback requirement.

- b) **Directional Emphasis** – The directional emphasis will be vertical.
- c) **Shape** – The proposed shape is consistent with the accepted industry models and will not negatively affect the area of influence.
- d) **Proportion** – The proportions of the new container will be smaller than the dominant patterns of proportion within the area of influence.
- e) **Rhythm** – The proposed container is unique for downtown Newnan; however, with its location being set back several feet from the adjacent buildings, the design should not disrupt existing rhythmic patterns within the area of influence.
- f) **Massing** - The massing of the container will not conflict with the overall mass in the area of influence.
- g) **Scale and Height** – The scale of the container unit will be complementary to the buildings in the area of influence. The proposed height is 8 feet with the dome top reaching 11 feet.
- h) **Architectural and Site Elements** – The container unit will not disrupt the surrounding architecture of Historic Downtown Newnan.

Options:

- A. Approve the Certificate of Appropriateness as presented.
- B. Approve the Certificate of Appropriateness with proffered conditions.
- C. Deny the Certificate of Appropriateness request.

Recommendation:

After identifying the area of influence and the prevailing character of the existing development, the proposed location of the new container (being offset away from Savannah Street and recessed into the lot) should have little impact on the streetscape. While this project is different in terms of the typical type of DDO request (such as new construction or building rehabilitation), this project is unique and presents an opportunity for the City to support a needed recycling service.

In the review of all DDO cases, staff seeks comments from the City's Main Street office. Abigail Strickland, the City's Main Street Manager, commented, "There isn't anything in our Design Guidelines that addresses this, so I wouldn't have much to say. I do think the opportunity to recycle is great!"

The applicant has also been made aware that the proposed recycling collection container unit must also receive Special Exception approval from the Board of Zoning Appeals (to allow the use itself). The applicant will present the Special Exception application at a future meeting of the Board of Zoning Appeals. Regarding this, there is no issue in the Planning Commission hearing this certificate of appropriateness request first.

In conclusion, staff reviewed the certificate of appropriateness request and found it to be consistent with the standards governing new structures in the *Downtown Design Overlay* district (*DDO*).
Therefore, staff would recommend Option A; approve the certificate of appropriateness request.

Attachments:

Application and Supporting Materials
Photographs

Previous Discussions with the Commission: None



CITY OF NEWNAN

Project Location

1 = 1,200 feet

Date: 8/21/2024 3:09 PM



Project Location



Parcel # N12 0001 007

The Arrow marks the approximate location of the proposed container.

ADDRESS
12 SAVANNAH ST
Newnan, Ga 30263



NEWNAN
GEORGIA

CITY OF NEWNAN
PLANNING DEPT.
25 LAGRANGE STREET
NEWNAN, GEORGIA 30263
www.NewnanGa.gov

Ripple Glass Collection Bin: 22' x 8'

Dome top, 6 sliding doors



View of proposed container unit



**Example of existing Ripple Glass container in
Kansas City**





**View of container placement area looking towards
Newnan Presbyterian Church property at
40 Salbide Avenue**



**View of container placement area looking towards
Newnan Presbyterian Church property at
40 Salbide Avenue**



**View of container placement area
looking towards Savannah Street**



NEWNAN
GEORGIA

CITY OF NEWNAN, GEORGIA

25 LaGrange Street
Newnan, Georgia 30263
770-254-2354

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

Address of Property ¹² ~~18~~ SAVANNAH STREET, NEWNAN, GA 30263
Name of Applicant Paul Schwinne
Mailing Address 18 Savannah Street, Newnan, GA 30263
Telephone ~~678~~ 678-545-6024
Property Owner (Use back if multiple names) 18 SAVANNAH LLC
Mailing Address 201 PROSPECT PARK, SUITE A P
Telephone _____
Map # N ^{cc} ~~12~~ Block # 0001 Parcel # ⁰⁰⁷ ~~010~~ Land Lot _____
District/Section ~~N/A~~ Present Zoning Classification COMMERCIAL
Present Land Use COMMERCIAL

No material change in the appearance of such historic property, or of a contributing or non-contributing building, structure, site or object within such historic district, shall be made or permitted to be made by the owner or occupant thereof, unless or until the application for a Certificate of Appropriateness has been submitted and approved by the Planning Commission.

If you have any questions concerning this process, you may call the Planning and Zoning Department at (770) 254-2354. Office hours are 8:00 a.m. to 5:00 p.m., Monday through Friday. The Planning Commission meets on the second Tuesday of each month. Applications must be submitted by 5:00 PM on the 15th day of the month prior to the month in which the application will be considered. Incomplete applications or applications submitted after the deadline will not be accepted.

NATURE OF PROPOSED WORK:

- | | |
|---|---|
| ☐ New Construction | ☐ Relocation of Building |
| ☐ Repairs or Alterations | ☐ Sign Erection or Placement |
| ☐ Demolition | ☒ Other |

Please describe the proposed Work to be Done (Use Additional Sheets if Necessary):

ADDING A GLASS RECYCLING COLLECTION
CONTAINER TO PROPERTY

Included with the application, the following information is required:

- ✓ A completed application for Certificate of Approval.
- ✓ A conceptual site plan showing all buildings, parking, buffers, driveways and other information pertinent to the development of the site.
- ✓ Elevation drawings which shall include dimensions of all sides of existing and proposed structures, all related accessory structures to be developed or placed on the site including but not limited to solid waste and recycling containment areas, electrical service transformers, air conditioning units, satellite dishes and other utility or mechanical equipment. Locations of screening materials shall be clearly noted. This shall apply to both structures and equipment at grade or placed on roof tops.
- ✓ The exterior finish material selection for each building shall be clearly noted for each elevation and may be illustrated using a detail inset.
- ✓ To aid in evaluating the exterior design, the applicant shall submit schematic floor plans showing window, door and loading dock locations and other exterior features that clearly define the intent of the completed exterior of the structure.
- ✓ Colored renderings clearly indicating color choices or exterior building and finish material samples may be submitted.
- ✓ Sign packages which meet the requirements of this ordinance. (if applicable for non-residential projects)
- ✓ Photos of neighboring properties to ensure compatibility with the proposed design.
- ✓ Plat of property, illustrating existing development and proposed development;
- ✓ Demolition or relocation projects must be accompanied by post-demolition or relocation plans for the site;
- ✓ Other information as may be deemed necessary by the Zoning Administrator to evaluate the appearance of the completed structure, and;
- ✓ Check for applicable fee of \$150 per application.

I (We) do hereby certify the information provided herein is both complete and accurate to the best of my (our) knowledge, and I (we) understand any inaccuracies may be considered just cause for invalidation of this application, and any action taken on this application. I further understand that any modifications, changes or alterations to the approved COA must be submitted to the City of Newnan's Planning Department before commencing or proceeding with any work to determine if said changes would need to return to the City of Newnan's Planning Commission for approval.



Signature of Applicant



Signature of Property Owner(s)

FOR OFFICIAL USE ONLY

RECEIVED BY Chris Cole

DATE OF FILING 8-21-2024

PC
HRC MEETING DATE 9-10-2024

DATE OF NOTICE PUBLICATION N/A

ACTION TAKEN (DATE) _____



APPEARANCE STATEMENT

Public Hearing Attendance Requirements

To process an application for an item requiring a Public Hearing, the applicant or applicant's designated representative must be present and in attendance at said hearing. This includes any items to be presented to the Board of Zoning Appeals; Mayor and City Council; and the Planning Commission.

Failure to appear at a Public Hearing may result in denial of the request, or an extended waiting period before the next available meeting. Certain requests, i.e. variances or special exceptions, if denied cannot be re-submitted for consideration for a term not less than one (1) year from the date of denial by that particular governing body.

The Board of Zoning Appeals will hear your request on _____ at 10:00 AM

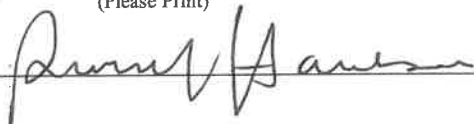
The Mayor and City Council will hear your request on _____ at _____ PM

The Planning Commission will hear your request on September 10 at 7:00 PM

IMPORTANT

A zoning sign will be affixed and posted on the property in question. Owner/applicant shall notify the Planning & Zoning Department immediately if the sign is removed, defaced, incorrect, etc. After the Public Hearing date, City personnel will remove the zoning sign.

Applicant's Name: Rachel Haralson
(Please Print)

Applicant's Signature: 

Date: 8/21/2024

All meetings are held in the Richard A. Bolin Council Chambers located at 25 Lagrange Street, Newnan, GA 30263, unless otherwise stated.

RIPPLE GLASS, LLC

OVERVIEW

In 2008, the Kansas City metropolitan area recycled less than 4% of its waste glass. Curbside recycling programs did not collect glass; a handful of drop-off locations existed, but most were inconveniently located for area residents. Also in 2008, Boulevard Brewing Company sold more than 10 million bottles of beer just in Kansas City. Sadly, most of those glass bottles ended up in area landfills.

Ripple Glass was the solution, and one that changed the way people thought about empty bottles and jars. Today, Ripple boasts more than 100 glass recycling locations, and the Kansas City metropolitan area now recycles more than 20% of its empty bottles and jars.

In 2023, Ripple Glass expanded to metro Atlanta and has lofty, but attainable, goals for the market. There are currently 34 bins on the ground, and we have collected over 1 million pounds of glass in 18 months.

Ripple's parent company, Strategic Material, processes the glass at the College Park plant where it is then used in the manufacturing of fiberglass insulation and in the production of new glass bottles.

GLASS RECYCLING COLLECTION BINS

Ripple Glass wanted its collection containers to be convenient, accessible, and easy-to-spot. So, we designed custom-built roll-off containers featuring our signature purple color as well as attractive, attention-getting graphics. These containers have a great capacity to avoid the cost and inconvenience of frequent pick-ups.

Ripple Glass relies on its host-partners to provide visible parking lot locations for the containers, and an on-site volunteer to keep an eye on the container from time to time.

Ripple Glass containers must be visible for residents to easily find and use. Furthermore, visible containers reduce the temptation for illegal dumpers to misuse the containers or host parking lots.

Glass is not collected in Newnan curbside recycling programs because it breaks. When broken glass is mixed with other recyclables, it degrades and contaminates those materials, reducing their utility and causing them to be "downcycled" into lower-quality products.

Ripple Glass recycling bins are available to help Newnan citizens reduce the amount of landfilled trash they create. As a result, Ripple's glass recycling service also reduces the amount of money the community spends on trash removal and tipping fees.

Ripple Glass will place and service a purple bin at Line Creek Brewery (Newnan) at no cost to the City or community.

RIPPLE GLASS BIN HOSTS

Each Ripple Glass location is hosted by a volunteer business and an on-site champion or team of volunteers. These businesses and individuals keep an eye on the Ripple containers and in rare circumstances, call for service.

Every purple bin is equipped with a camera that allows our team to monitor the fill rate and determine when it's time to swap the bin. The Ripple Glass team coordinates all hauling and logistics. Ripple and its haulers are insured and can issue site-specific COIs upon request.

In case of an emergency, Ripple's dedicated local manager, Jamey Moran, is always available to communicate with our drivers for immediate service and ensure quality clean-up.

WHY RECYCLE GLASS

The cost savings of recycling is in the use of energy. Compared to making glass from raw materials for the first time, cullet melts at a lower temperature, therefore, there is less energy needed to melt the glass.

Glass produced from recycled glass reduces related air pollution by 20% and related water pollution by 50%.

Recycling glass reduces the space in landfills that would otherwise be taken up by used bottles and jars.

Recycling 1 glass bottle saves enough electricity to light a 100-watt light bulb for 4 hours.

More than 1 ton of natural resources is conserved for every ton of glass recycled.

For every 6 tons of recycled glass used, 1 ton of carbon dioxide (a greenhouse gas) is reduced.

When there is a viable solution to recycle your glass, it's simply the right thing to do. Ripple is thrilled to be in the Atlanta Metro market and provide that solution.



August 30, 2024

Dear City of Newnan Planning Commission,

I am expressing my enthusiastic support for The Reserve at Line Creek Brewery's proposal to host a glass recycling collection dumpster in downtown Newnan. This initiative offers significant environmental, economic, and community benefits that align with our city's goals for sustainability and beautification.

Glass is one of the most recyclable materials available, with an endless lifespan in the recycling process. Every ton of recycled glass conserves raw materials like sand, soda ash, and limestone while reducing the energy needed to manufacture new glass products. Recycling glass cuts greenhouse gas emissions, minimizes the need for landfill space, and helps mitigate the extraction of virgin resources, protecting our local environment.

A glass recycling program at The Reserve would also encourage our residents and visitors to make environmentally responsible choices and would promote a sense of community stewardship. By offering a convenient location for glass recycling in downtown Newnan, this program can reduce the volume of waste sent to landfills, thereby supporting our city's litter reduction and beautification efforts. Furthermore, it will highlight Newnan's commitment to sustainable practices, attracting environmentally conscious visitors and businesses.

I believe that this project presents a valuable opportunity to foster greater environmental responsibility within our community, and I encourage you to approve The Reserve at Line Creek Brewery's request to host the glass recycling collection dumpster.

Thank you for your consideration of this initiative, and for your continued dedication to making Newnan a leader in environmental sustainability.

Sincerely,

Page Beckwith

Director, Keep Newnan Beautiful

pbeckwith@newnanga.gov

678-673-5505



City of Newnan, Georgia – Planning Commission

Date: September 10, 2024

Agenda Item: Certificate of Appropriateness – 701 Newnan Crossing Bypass

Prepared by: Chris Cole, Senior Planner

Purpose: This item involves a Certificate of Appropriateness request from Brian DePouli concerning a request for alternative materials (and the appropriate percentage of materials) on a new structure to be built at 701 Newnan Crossing Bypass.

Background:

Zoning District	<i>General Commercial District (CGN) and within a Quality Development Corridor Overlay district (QDC), Lower Fayetteville Road Commercial Landscape Corridor Overlay, and the I-85 Building Height Overlay</i>
Proposed Land Use	<i>New and used car dealership</i>
Current Parcel Size	<i>25.742+/- acres</i>

Brian DePouli has submitted a Quality Development Corridor (hereinafter QDC) Certificate of Appropriateness application for a new Volkswagen dealership at 701 Newnan Crossing Bypass. The Volkswagen dealership will be on the same parcel as the yet-to-be-built Subaru dealership. Please see the attached address assignment memo from Dean Smith that shows how the two dealerships will be sited on the same parcel. The subject property does fall within the QDC overlay district.

According to the application, "Volkswagen of Newnan is a new construction automobile dealership building with a showroom and a service shop. The showroom is to have a curtain wall system and ACM panels on the front façade and stucco on the side facades. The service shop portion of the building is to have insulated precast panels with a fluted (ribbed) texture for a portion of the base."

The application continues, "Specifically, the building is proposed to be constructed out of insulated precast panels with some fluted texture (primary material) for the facades of the service shop and a stucco finish (secondary material) for the sides of the showroom. The requirements for the primary (67% or more) and secondary (33% or less) materials are being met on the east, south and north elevations as noted in the table below:" Staff Note – The north elevation, as shown in the applicant's supporting memo, does not meet the percentage criteria.

The application concludes, "The front façade of the building (west elevation) is composed of an insulated-glass curtainwall system with white aluminum composite metal panels for the showroom; and insulated precast panel (primary) for a small portion of the service shop that is visible and a roof equipment screen (secondary)."

When new construction is proposed within the QDC overlay district, a Certificate of Approval application shall be forwarded to the Planning Commission for action at the next available meeting when the application (as applies in this case):

1. Does not meet the appropriate percentages of primary and secondary materials and

According to the Zoning Ordinance, Primary materials shall compose 67% or more of the area of each elevation. Gable areas and windows shall be calculated in the total of the elevation. Secondary materials shall compose 33% or less of the area of each elevation. Gable areas shall also be calculated in the total of the elevation.

The applicant's proposal exceeds the allowed percentages of Aluminum Composite Materials (hereinafter ACM) as follows: The secondary material limit, which includes both the white ACM panel and roof equipment screens per the applicant, is exceeded. The secondary material accounts for 63% of the west elevation (the front elevation facing Newnan Crossing Bypass), instead of the required 33% or less. The applicant indicated the west elevation deviation is entirely comprised of the roof equipment screens. The secondary material also accounts for 34% of the north elevation (also known as the left elevation), instead of the required 33% or less.

2. Proposes use of exterior building surface materials not specified in this ordinance

According to the Zoning Ordinance, ACM or Panels may be utilized as accent features if painted or covered in non-metallic finish and would be limited to no more than 10% of the total exterior building elevation. The applicant meets this requirement as he plans to use a white aluminum composite panel on the building as shown in the drawings. According to the application, the total percentage of white ACM panel accounts for only 6.6% of all the building's facades.

It should also be pointed out that no review of the proposed signage (including conformity to QDC signage standards) was done as part of this Certificate of Appropriateness review. The current Certificate of Appropriateness application only involves issues related to the proposed exterior building surface materials. The sign permit review is a separate process that is handled on the staff level. There are certain automobile dealerships near the subject property that incorporate unique design elements (including some with aluminum or metallic finishes). Below is a summary of these locations included by staff for comparison sakes.

- **Mike Fitzpatrick Ford** – This is an automobile dealership in the city limits of Newnan at 238 Bullsboro Drive. The building was most recently remodeled in 2011. During the remodel, the dealership did improvements to exterior walls (including installing ACM with metallic finish). However, the dealership did not cover more than 25% of the total wall area, making the project exempt from QDC review.
- **Southtowne Chevrolet Buick GMC** – This is an automobile dealership in unincorporated Coweta County at 695 Bullsboro Drive.
- **Toyota of Newnan** – This is an automobile dealership in unincorporated Coweta County at 2 Herring Road.

- **Nissan of Newnan** - This is an automobile dealership in the city limits of Newnan at 783 Bullsboro Drive. This building contains Aluminum Composite Panels. However, the exact design and building material features were a condition of annexation for the front facade when the property was brought into the city limits in 2013.
- **Honda of Newnan** - This is an automobile dealership in the city limits of Newnan at 391 Newnan Crossing Bypass. Honda of Newnan meets all the QDC requirements, but the implementation of additional ACM Panels was approved as a component of their Master Sign Plan approval from 2018.
- **Acura of Newnan** - In 2021, this automobile dealership at 8000 McIntosh Parkway was approved to use a higher percentage of ACM panels above the 10% and also were a proposed metallic finish.
- **Subaru of Newnan** - 705 Newnan Crossing Bypass - As a reminder, the Volkswagen dealership will be on the same parcel as the yet-to-be-built Subaru of Newnan dealership. In the Subaru of Newnan COA application (reviewed by the Planning Commission on December 19, 2023), the applicant's proposal exceeded the allowed percentages of ACM and the proposed ACM panels were of a silver metallic finish. The applicant proposed ACM panels for approximately 19% of the building. The applicant indicated that the ACM would not be painted or covered in non-metallic finish as is required. Upon review and discussion, the request was approved by a 7-0 vote, with a stipulation that the ACM panels have a satin finish or a finish with less sheen than a metallic finish.

Options:

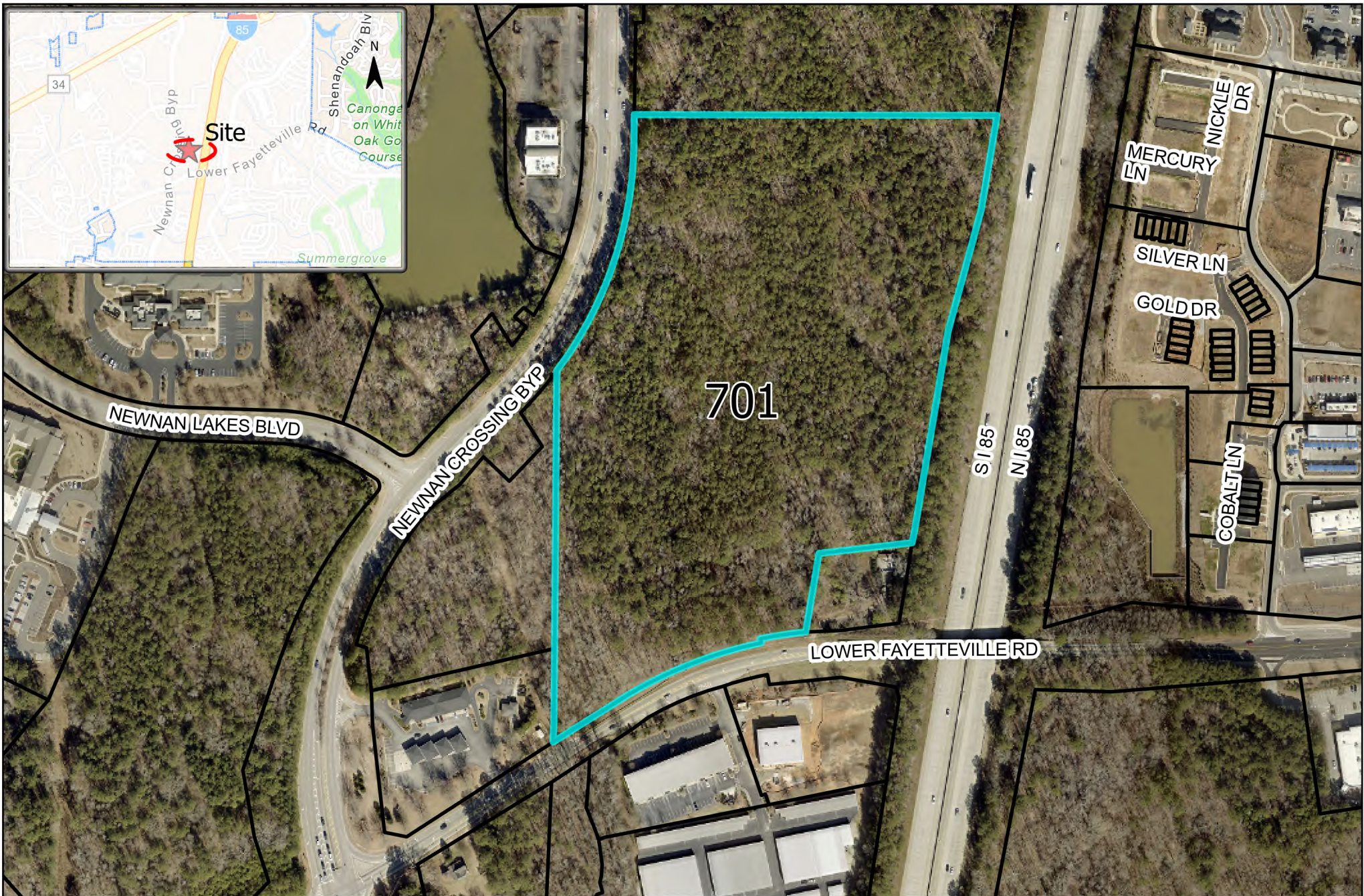
- A. Approve the certificate of appropriateness for 701 Newnan Crossing Bypass
- B. Deny the certificate of appropriateness request
- C. Other direction from the Planning Commission

Recommendation: Staff does not have a recommendation on this request. Regarding the elevations in general, there has been communication with the applicant regarding the inclusion of ACM Panels and roof equipment screens for calculation purposes in determining the primary or secondary materials percentages. Due to the timeliness of the application, staff believes it is best at this point for the applicant to make the presentation to the Planning Commission and to receive feedback.

However, regarding the north elevation (also known as the left elevation), the request to exceed the percentages for secondary materials from the required 33% to 34% is not unreasonable. It should also be noted that the Glass Curtain Wall Panels are allowed in the QDC overlay district (and the various doors in the proposal are excluded from the façade requirements).

Attachments: Certificate of Appropriateness application and supporting documents

Previous Discussions with the Commission: None



CITY OF NEWNAN

Project Location

1 = 3,744 feet

Date: 9/5/2024 8:15 AM

N



Project Location



City Limits

Parcel # 086 5021 032

ADDRESS

701 Newnan Crossing Bypass
Newnan, Ga 30265

Page 24 of 38



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CITY OF NEWNAN
PLANNING DEPT.
25 LAGRANGE STREET
NEWNAN, GEORGIA 30263
www.NewnanGa.gov



NEWNAN
GEORGIA

CITY OF NEWNAN, GEORGIA

25 LaGrange Street
Newnan, Georgia 30263
770-254-2354

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

Address of Property 701 Newnan Crossing Bypass, Newnan, GA 30265

Name of Applicant Brian DePouli

Mailing Address 10724 Pineville Road, Pineville, NC 28134

Telephone 704-905-4989

Property Owner (Use back if multiple names) MAMCO Newnan Properties LLC

Mailing Address 10724 Pineville Road, Pineville, NC 28134

Telephone 704-905-4989

Map # N 086 Block # 5021 Parcel # 032 Land Lot 21

District/Section 5 Present Zoning Classification CGN

Present Land Use Undeveloped

No material change in the appearance of such historic property, or of a contributing or non-contributing building, structure, site or object within such historic district, shall be made or permitted to be made by the owner or occupant thereof, unless or until the application for a Certificate of Appropriateness has been submitted and approved by the Planning Commission.

If you have any questions concerning this process, you may call the Planning and Zoning Department at (770) 254-2354. Office hours are 8:00 a.m. to 5:00 p.m., Monday through Friday. The Planning Commission meets on the second Tuesday of each month. Applications must be submitted by 5:00 PM on the 15th day of the month prior to the month in which the application will be considered. Incomplete applications or applications submitted after the deadline will not be accepted.

NATURE OF PROPOSED WORK:

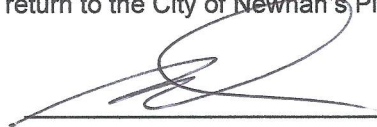
- | | |
|--|---|
| ☒ New Construction | ☐ Relocation of Building |
| ☐ Repairs or Alterations | ☐ Sign Erection or Placement |
| ☐ Demolition | ☐ Other |

Please describe the proposed Work to be Done (Use Additional Sheets if Necessary): _____
Volkswagen of Newnan is a new construction automobile dealership building with a showroom and a service shop. The showroom is to have a curtain wall system and ACM Panels on the front facade and stucco on the side facades. The service shop portion of the building is to have insulated precast panels with a fluted (ribbed) texture for a portion of the base.

Included with the application, the following information is required:

- ✓ A completed application for Certificate of Approval.
- ✓ A conceptual site plan showing all buildings, parking, buffers, driveways and other information pertinent to the development of the site.
- ✓ Elevation drawings which shall include dimensions of all sides of existing and proposed structures, all related accessory structures to be developed or placed on the site including but not limited to solid waste and recycling containment areas, electrical service transformers, air conditioning units, satellite dishes and other utility or mechanical equipment. Locations of screening materials shall be clearly noted. This shall apply to both structures and equipment at grade or placed on roof tops.
- ✓ The exterior finish material selection for each building shall be clearly noted for each elevation and may be illustrated using a detail inset.
- ✓ To aid in evaluating the exterior design, the applicant shall submit schematic floor plans showing window, door and loading dock locations and other exterior features that clearly define the intent of the completed exterior of the structure.
- ✓ Colored renderings clearly indicating color choices or exterior building and finish material samples may be submitted.
- ✓ Sign packages which meet the requirements of this ordinance. (if applicable for non-residential projects)
- ✓ Photos of neighboring properties to ensure compatibility with the proposed design.
- ✓ Plat of property, illustrating existing development and proposed development;
- ✓ Demolition or relocation projects must be accompanied by post-demolition or relocation plans for the site;
- ✓ Other information as may be deemed necessary by the Zoning Administrator to evaluate the appearance of the completed structure, and;
- ✓ Check for applicable fee of \$150 per application.

I (We) do hereby certify the information provided herein is both complete and accurate to the best of my (our) knowledge, and I (we) understand any inaccuracies may be considered just cause for invalidation of this application, and any action taken on this application. I further understand that any modifications, changes or alterations to the approved COA must be submitted to the City of Newnan's Planning Department before commencing or proceeding with any work to determine if said changes would need to return to the City of Newnan's Planning Commission for approval.



Signature of Applicant



B DE POLI, DIRECTOR OF CONSTRUCTION

Signature of Property Owner(s)

MEMORANDUM

Date: August 30, 2024
Project: 24044 – VW of Newnan (701 Newnan Crossing Bypass, Newnan, GA 30265)
Subject: QDC Application – Brief
To: Tracy Dunnavant
From: Craig James
 cjames@praxis3.com | 678-904-7424
Notes: For Design Review Approval

Volkswagen of Newnan is a new construction automobile dealership to be constructed at 701 Newnan Crossing Bypass, Newnan GA 30465, which is located in the Quality Development Corridor overlay district.

The building will be constructed out of insulated precast panels with some fluted texture (**primary material**) for the facades of the service shop and a stucco finish (**secondary material**) for the sides of the showroom. The requirements for the primary (67% or more) and secondary (33% or less) materials are being met on the east, south and north elevations as noted in the table below:

FAÇADE	ELEVATION	% OF PRIMARY MATERIAL (67% or more)	% OF SECONDARY MATERIAL (33% or less)	MEETS QDC OVERLAY DISTRICT CRITERIA
RIGHT	SOUTH	72%	28%	Yes
BACK	EAST	73%	27%	Yes
LEFT	NORTH	66%	34%	No
FRONT	WEST	37%	63%	No – see below

The front façade of the building (west elevation) is composed of an insulated-glass curtainwall system with white aluminum composite metal panels for the showroom; and insulated precast panel (primary) for a small portion of service shop that is visible and a roof equipment screen (secondary).

We seek the approval from the City of Newnan – Planning Office to:

1. Use a white aluminum composite panel on the west elevation of the building as shown in the drawings
2. Exceed the ACM panel percentage limit.
 - a. The secondary material limit, which is entirely comprised of the roof equipment screens, is exceeded on the west elevation. The secondary material accounts for 63% of the west elevation, instead of 33% or less.
 - b. Note: The total percentage of white ACM panel across all building facades accounts for only 6.6% of all building facades.
3. Lastly, we seek approval for not meeting the primary/secondary limits by 1% on the left side of the building (North Elevation).

Thank you for your consideration and time in reviewing our application request.

GENERAL NOTES

- ALL PAVEMENT MARKINGS & SIGNAGE SHALL COMPLY WITH THE "GEORGIA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS & HIGHWAYS".
- ALL EXISTING UTILITIES ARE SHOWN SCHEMATICALLY. CONTRACTOR SHALL CONTACT DIG GEORGIA 811 AND LOCAL UTILITY MARKOUT FIRMS PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR LOCATION & PROTECTION OF EXISTING ABOVE & BELOW GROUND UTILITIES AND STRUCTURES, ANY AND ALL MAINS, LINES, OR INDIVIDUAL SERVICES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED IMMEDIATELY AT NO ADDITIONAL EXPENSE TO THE OWNER.
- CONTRACTOR SHALL VERIFY ALL CONDITIONS & DIMENSIONS ONSITE & NOTIFY THE ENGINEER OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES IN WRITING PRIOR TO BEGINNING WORK.
- SIDEWALK CROSS-SLOPE SHALL NOT EXCEED 2% AND LONGITUDINAL SLOPE SHALL NOT EXCEED 5%.
- DIMENSIONS ARE SHOWN TO FACE OF CURB UNLESS OTHERWISE NOTED.
- FIELD ADJUSTMENTS SHALL BE MADE AS NECESSARY TO ENSURE A SMOOTH TRANSITION BOTH VERTICALLY & HORIZONTALLY FROM EXISTING TO PROPOSED PAVEMENT & CURB SECTIONS.
- GUTTERS & PAVING SHALL BE INSTALLED IN SUCH A MANNER AS TO PROVIDE POSITIVE DRAINAGE IN ALL AREAS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL LOCAL, STATE & FEDERAL CONSTRUCTION SAFETY REGULATIONS ARE FOLLOWED DURING THE CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS PROJECT.
- BENCHMARK LOCATION & ELEVATION SHALL BE VERIFIED PRIOR TO BEGINNING CONSTRUCTION. BENCHMARKS USED FOR SURVEY ARE LISTED ON THE EXISTING CONDITIONS PLAN.
- BACKGROUND INFORMATION TAKEN FROM PLAT OF SURVEY FROM SURVEY MATTERS, DATED 02/08/2023.
- ALL DEMOLITION DEBRIS SHALL BE LEGALLY DISPOSED OF OFF-SITE IN AN APPROVED LANDFILL.
- ALL WORK SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF CITY OF NEWNAN AND THE STATE OF GEORGIA.
- CONTRACTOR TO ADJUST ALL EXISTING UTILITIES RIMS, COVERS, GRATES, AND WATER METER BOXES TO MATCH PROPOSED GRADES.
- ALL MATERIALS & PLANS ARE TO COMPLY WITH CURRENT CITY OF NEWNAN STANDARD SPECIFICATIONS & DETAILS.
- CONTRACTOR SHALL SUPPLY AS-BUILT DRAWINGS OF STREET, DRAINAGE, DETENTION, AND WATER QUALITY FACILITIES, WATER AND SANITARY SEWER SYSTEMS AFTER INSTALLATION.
- TRANSITION PROPOSED CONCRETE CURB, PAVEMENT AND SIDEWALK INTO EXISTING CURB, PAVEMENT AND SIDEWALK AND PROVIDE A FLUSH 1/8" SAWCUT JOINT WHERE PROPOSED CONCRETE MEETS EXISTING CONCRETE.
- ALL EXISTING AND PROPOSED SIDEWALKS, BARRIER FREE RAMPS, HANDICAP PARKING, DRIVEWAY CROSSWALKS, DRIVEWAYS AND ACCESSIBLE ROUTES SHALL COMPLY WITH A.D.A., CITY OF NEWNAN, AND COWETA COUNTY REQUIREMENTS. EXISTING INFRASTRUCTURE NOT COMPLYING SHALL BE REMOVED AND REPLACED TO MEET STANDARDS.

VW PARKING INFORMATION

SALES CUSTOMER PARKING	8
SERVICE CUSTOMER PARKING	49
EMPLOYEE PARKING	41
NEW VEHICLE DISPLAY	126
NEW VEHICLE STORAGE	132
USED VEHICLE DISPLAY	23
USED VEHICLE STORAGE	45
TOTAL PARKING STALLS	424

PARKING DIMENSION 9' x 18' MINIMUM

SITE DATA TABLE
SITE ADDRESS: 701 NEWMAN CROSSING BYPASS
PARCEL NUMBER: 0865021032
ZONING: CON (GENERAL COMMERCIAL)

LOT SIZE:
MINIMUM AREA = 22,500 SF
AREA PROVIDED = 1,121,400 SF (25.74 AC)

MINIMUM LOT WIDTH AT BLDG LINE = 125'
LOT WIDTH PROVIDED = 4530' MIN
MINIMUM LOT DEPTH = 150'
MINIMUM LOT DEPTH PROVIDED = 4366'

FAR:

MAXIMUM = 50% (OVERLAY)

PROVIDED = TBD

BUILDING COVERAGE:

MAXIMUM = 35%

PROVIDED = TBD

BUILDING HEIGHT:

MAXIMUM = 40' (ZONING) / 85' (OVERLAY)

PROVIDED = TBD

ACCESSORY MAXIMUM = 14'

PROVIDED = TBD

BUILDING SETBACKS:

STREET = 35' FROM RW OR 85' FROM CENTER OF STREET

SIDE = 12'

REAR = 12'

LANDSCAPE SETBACKS/STRIPS:

LOWER FAYETTEVILLE ROAD = 20'

RIGHT-OF-WAY = 15'

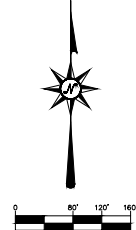
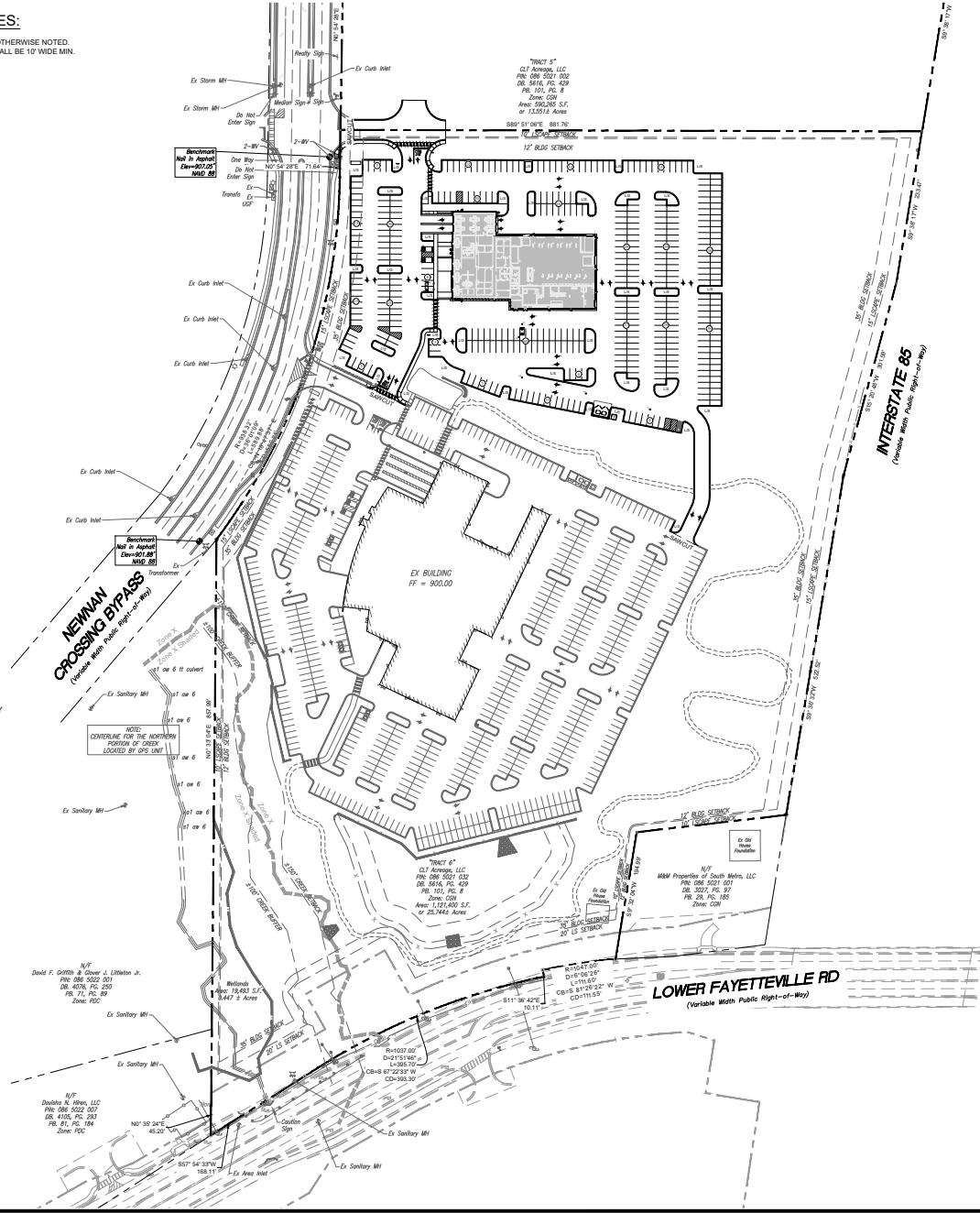
ALL OTHER PROPERTY LINES = 10'

ADDITIONAL NOTES:

- ALL RADII ARE 3' UNLESS OTHERWISE NOTED.
- ALL LANDSCAPE ISLANDS SHALL BE 10' WIDE MIN.

LEGEND

LANDSCAPE AREA LIS



NO.	DESCRIPTION	DATE	INT.

OVERALL SITE PLAN
VW OF NEWMAN
701 NEWMAN CROSSING BYPASS
COWETA COUNTY
CITY OF NEWMAN, GEORGIA, 30065

PROJECT NO:	24-022
DATE:	8/1/2024
SCALE:	1" = 80'
DRAWN:	ML
CHECKED:	RESM
APPROVED:	GM

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OR UNDER THE
SUPERVISION OF
GRAHAM MOORE
GA # 45137

Sheet No.

C3.0



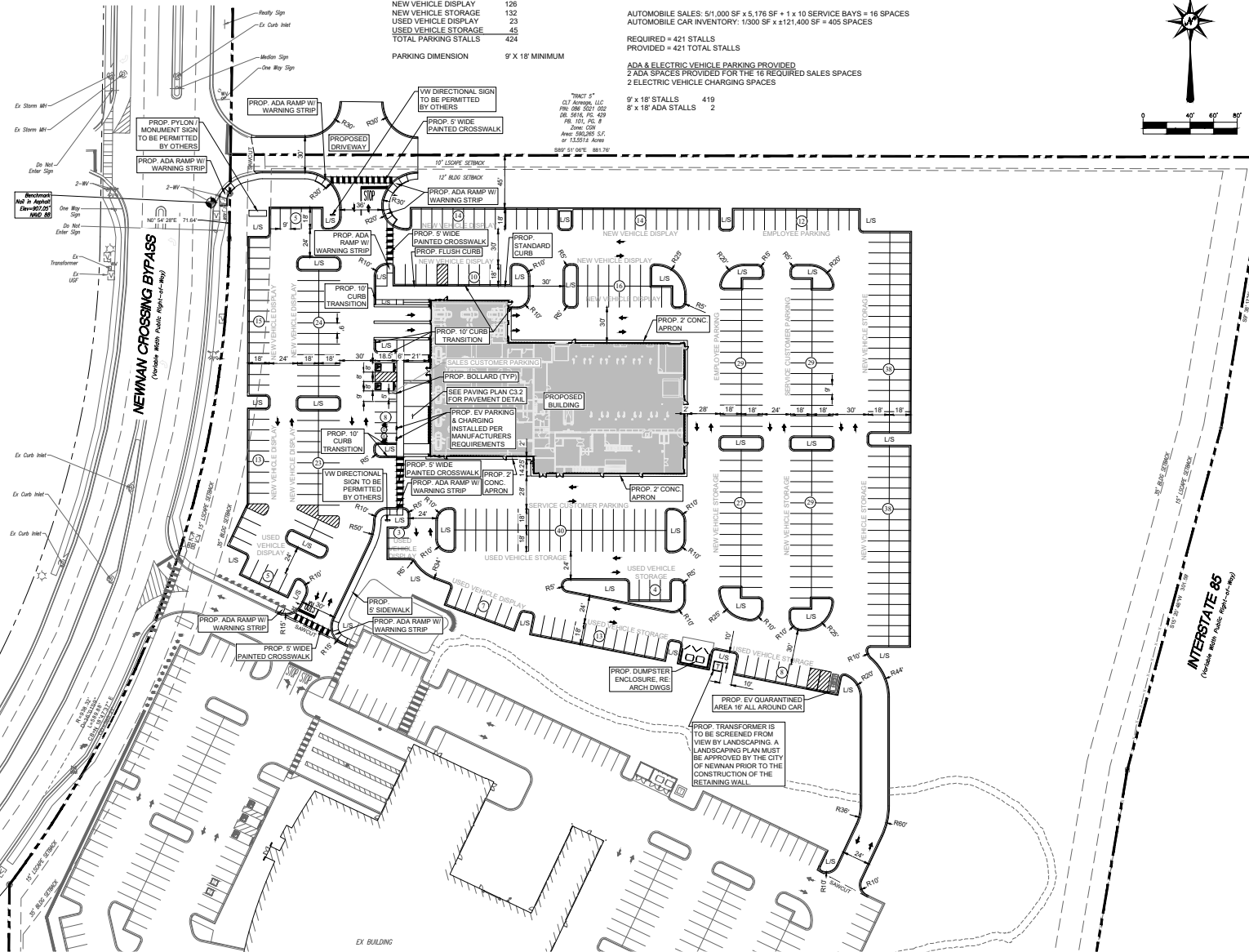
1. ALL PAYMENT MATERIALS & SIGNAGE SHALL COMPLY WITH THE "GEORGIA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS & HIGHWAYS".
2. ALL EXISTING UTILITIES ARE SHOWN SCHEMATICALLY ON THE SMALL SCALE PLAN, SCHEDULE "A" GEORGIA 811 AND LOCAL UTILITY MARKOUT FIRMS PRIOR TO BEGINNING CONSTRUCTION.
CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR PROTECTING EXISTING UTILITIES. ANY DAMAGE TO ABOVE & BELOW GROUND UTILITIES AND STRUCTURES, ANY AND ALL DAMAGE TO EXISTING UTILITIES AND STRUCTURES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED IMMEDIATELY AT NO ADDITIONAL EXPENSE TO THE OWNER.
CONTRACTOR SHALL VERIFY ALL CONDITIONS & DIMENSIONS ONSITE & NOTIFY THE ENGINEER OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES IN WRITING PRIOR TO BEGINNING WORK.
3. SIDEWALK CROSS-SLOPE SHALL NOT EXCEED 2% AND LONGITUDINAL SLOPE SHALL NOT EXCEED 5%.
4. DIMENSIONS ARE SHOWN TO FACE OF CURB UNLESS OTHERWISE NOTED.
5. FIELD ADJUSTMENTS SHALL BE MADE AS NECESSARY TO MAINTAIN SMOOTH TRANSITION BOTH VERTICALLY & HORIZONTALLY FROM EXISTING TO PROPOSED PAVEMENT & CURB SECTIONS.
6. GUTTERS & PAVING SHALL BE INSTALLED IN SUCH A MANNER AS TO PROVIDE POSITIVE DRAINAGE TO ALL AREAS.
7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL LOCAL, STATE & FEDERAL, CONSTRUCTION REGULATIONS ARE FOLLOWED DURING THE CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS PROJECT.
8. BENCHMARK LOCATION & ELEVATION SHALL BE VERIFIED PRIOR TO BEGINNING CONSTRUCTION. BENCHMARKS USED FOR SURVEY ARE LISTED ON THE EXISTING CONDITIONS PLAN.
9. BACKGROUND INFORMATION TAKEN FROM PLAT OF SUBDIVISION, DECEMBER 1997, DATED 02/03/2003.
10. ALL DEMOLITION DEBRIS SHALL BE LEGALLY DISPOSED OF OFF-SITE IN AN AGENCY APPROVED LANDFILL.
11. ALL WORK SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF CITY OF NEWMAN AND THE STATE OF GEORGIA.
12. CONTRACTOR TO ADJUST ALL EXISTING UTILITIES, RIMS, COVERS, GATES, AND WATER METER BOXES TO MATCH PROPOSED CONSTRUCTION.
13. ALL MATERIALS & PLANS ARE TO COMPLY WITH CURRENT CITY OF NEWMAN STANDARD SPECIFICATIONS & DETAILS.
14. CONTRACTOR SHALL SUPPLY ALL DRAWINGS OF STREET, DRAINAGE, DETENTION, AND WATER QUALITY FACILITIES, AND SANITARY SEWER SYSTEMS PRIOR TO INSTALLATION.
15. TRANSITION PROPOSED CONCRETE CURB, PAVEMENT AND SIDEWALK INTO EXISTING CURB, PAVEMENT AND SIDEWALK WITH A 10' MINIMUM OVERLAP WHERE PROPOSED CONCRETE MEETS EXISTING CONCRETE.
16. ALL EXISTING AND PROPOSED SIDEWALKS, BARRIERS, FREE RAMPS, HANDICAP PARKING, DRIVEWAY CROSSEWS, DRIVEWAYS AND ACCESSIBLE ROUTES SHALL BE CONSTRUCTED WITH A 5' MINIMUM WALKWAY AND COWETA COUNTY REQUIREMENTS. EXISTING INFRASTRUCTURE NOT COMPLYING SHALL BE REPLACED OR REPLACE TO MEET ALL STANDARDS.

1. ALL RADIUS ARE 3' UNLESS OTHERWISE NOTED.
2. ALL LANDSCAPE ISLANDS SHALL BE 10' WIDE MIN.

LANDSCAPE AREA	L/S
----------------	-----

SALES CUSTOMER PARKING	8
SERVICE CUSTOMER PARKING	49
EMPLOYEE PARKING	41
NEW VEHICLE DISPLAY	126
NEW VEHICLE STORAGE	132
USED VEHICLE DISPLAY	23
<u>USED VEHICLE STORAGE</u>	<u>45</u>
TOTAL PARKING STALLS	424
PARKING DIMENSION 9' X 18' MINIMUM	

PARKING REQUIREMENTS
ADULT SALES: 51/000 SF INDOOR DISPLAY AREA + 1 PER SERVICE BAY
 AUTOMOBILE CAR INVENTORY: 1/300 SF INVENTORY IMPERVIOUS SURFACE AREA
AUTOMOBILE SALES: 51/ 000 SF + 1.575 SF BAY + 1 x 10 SERVICE BAYS = 16 SPACES
 AUTOMOBILE CAR INVENTORY: 1/300 SF x 121,400 SF = 405 SPACES
 REQUIRED = 421 STALLS
 PROVIDED = 421 TOTAL STALLS
ADA & ELECTRIC VEHICLE PARKING PROVIDED
 2 ADA SPACES PROVIDED FOR THE 16 REQUIRED SALES SPACES
 2 ELECTRIC VEHICLE CHARGING SPACES
 8' x 18' STALLS 419
 8' x 18' ADA STALLS 2



FILE PATH: C:\Users\ronan\Cool breeze 2019\Drawings\Project's\24-022 - VW of Newman Newman CA\DrawC3.0 SITE PLAN.dwg PLOT DATE: 2024-08-19 SAVED BY: ROGAN



COOL BREEZE CONSULTANTS LLC
1314 Avenue A, Suite A
Katy, TX 77493
Phone: 832-349-4018
Email: admin@coolbreezeconsultants.com
www.coolbreezeconsultants.com
GA TBIPE FIRM# NPI# 007686



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SITE PLAN A

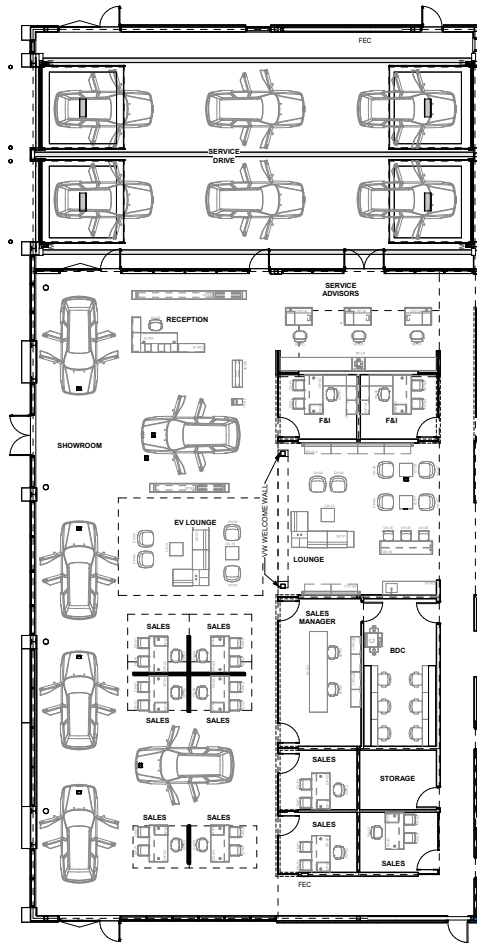
VW OF NEWMAN
701 NEWMAN CROSSING BYPASS
COWETA COUNTY
CITY OF NEWMAN, GEORGIA, 30265

PROJECT NO:	24-022
DATE:	8/19/24
SCALE:	1" = 40'
DRAWN:	ML
CHECKED:	RSM
APPROVED:	GM

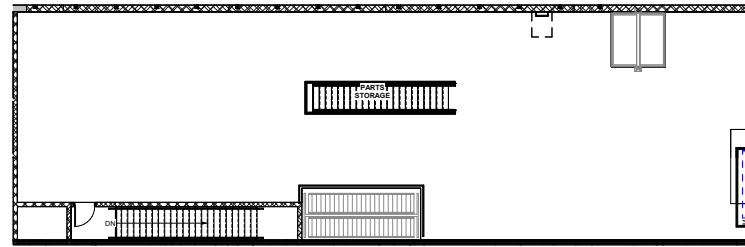
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GRAHAM MOORE
GA # 45137

Sheet No.

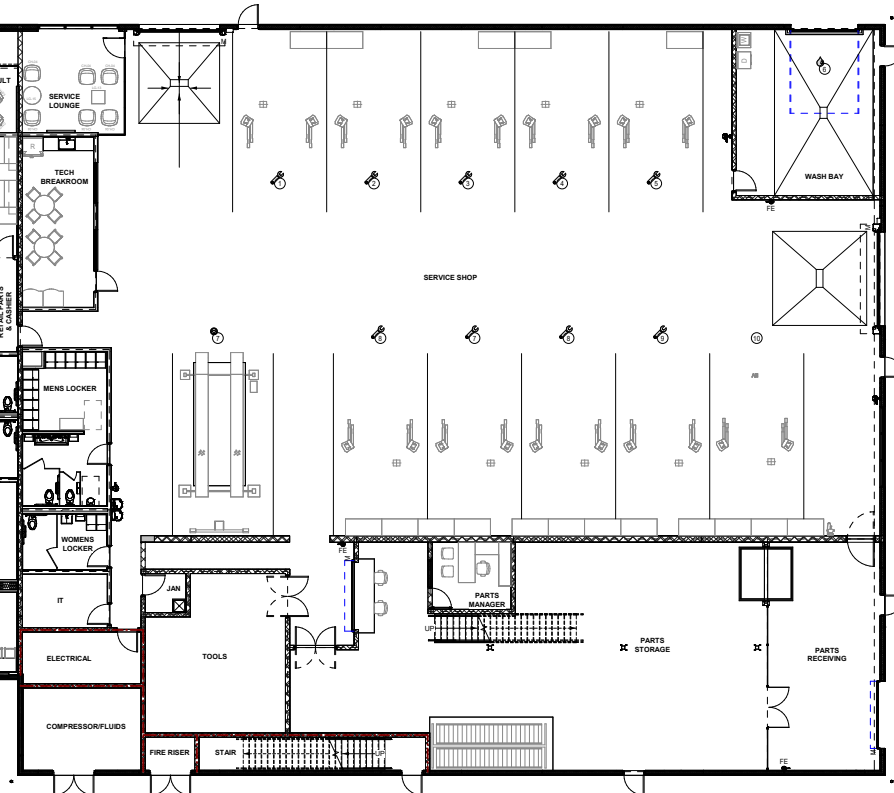
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2
A4



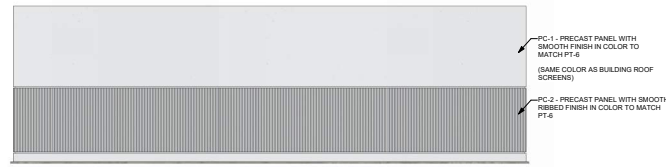
2
A2 FLOOR PLAN - LEVEL 2 - PARTS STORAGE



3
A4

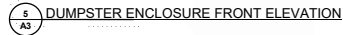
3
A2 FLOOR PLAN - LEVEL 1 - SHOWROOM & SHOP





7
A3

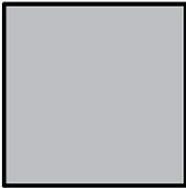
DUMPSTER ELEVATION - REAR



EXTERIOR FINISH LEGEND



PT-4b
EXTERIOR PAINT
SOOTHING WHITE SW6539



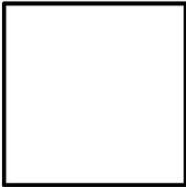
PT-6
EXTERIOR PAINT
LAZY GRAY SW 6254



RS-1
PAINTED ROOF SCREEN
ECOSPAN SCREEN SYS. 22.5-DEG PITCH -
COLOR TO MATCH PT-6



PT-7
EXTERIOR PAINT
GRAY SHINGLE SW7670



ACM-1
ACM PANEL
SOBOTEC DAS WHITE



GL-1
CURTAIN WALL / STOREFRONT SYS.
CLEAR GLASS (SOLARBAN 90) WITH
CLEAR ANODIZED ALUMINUM MULLIONS



MC-1
PREFINISHED METAL COPING
TO MATCH PT-4b

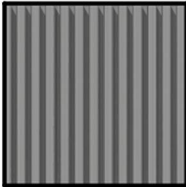


STUC-1
STUCCO / CEMENT PLASTERING
STO POWERWALL DRAINScreens -
COLOR TO MATCH PT-4b

BO-1
PAINTED BOLLARDS
PAINTED TO MATCH PT-4b



IPC-1
INSULATED PRECAST PANEL
SMOOTH FINISH - COLOR TO MATCH PT-4b

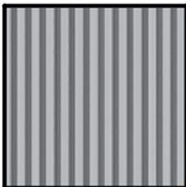


IPC-2
INSULATED PRECAST PANEL
FLUTED / SMOOTH RIBBED FINISH -
COLOR TO MATCH PT-7

FLUTED TEXTURE ON FACADE (PLAN VIEW)



PC-1
PRECAST PANEL
SMOOTH FINISH - COLOR TO MATCH PT-6



PC-2
PRECAST PANEL
FLUTED / SMOOTH RIBBED FINISH -
COLOR TO MATCH PT-6

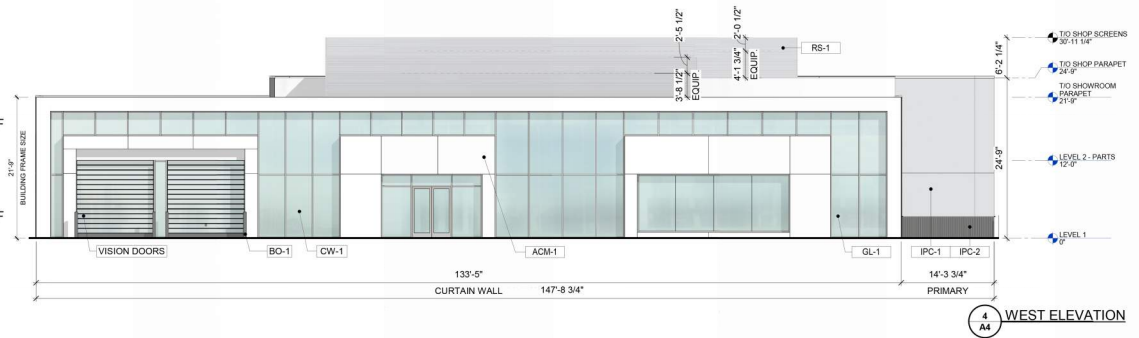
EXTERIOR FINISH LEGEND

PT-4b EXTERIOR PAINT SOOTHING WHITE SW6539	PT-6 EXTERIOR PAINT LAZY GRAY SW 6254
PT-7 EXTERIOR PAINT GRAY SHINGLE SW7670	ACM-1 ACM PANEL SOBOTEC DAS WHITE
MC-1 PREFINISHED METAL COPING TO MATCH PT-4b	STUC-1 STUCCO / CEMENT PLASTERING 870 POWERWALL GRANSREEN - COLOR TO MATCH PT-4b
IPC-1 INSULATED PRECAST PANEL SMOOTH FINISH - COLOR TO MATCH PT-4b	IPC-2 INSULATED PRECAST PANEL FLUTED / SMOOTH RIBBED FINISH - COLOR TO MATCH PT-7
PC-1 PRECAST PANEL SMOOTH FINISH - COLOR TO MATCH PT-6	PC-2 PRECAST PANEL FLUTED / SMOOTH RIBBED FINISH - COLOR TO MATCH PT-6
RS-1 PAINTED ROOF SCREEN ECOSPAN SCREEN SYS. 22.5 DEG PITCH - COLOR TO MATCH PT-6	GL-1 CURTAIN WALL / STOREFRONT SYS. CLEAR GLASS (SOLARBAN 80) WITH CLEAR ANODIZED ALUMINUM MULLIONS
BO-1 PAINTED BOLLARDS PAINTED TO MATCH PT-4b	

ALL FACADES:
TOTAL SF OF ALL FACADES: 19,281 SF
TOTAL ACM: 1,280 SF 6.6%

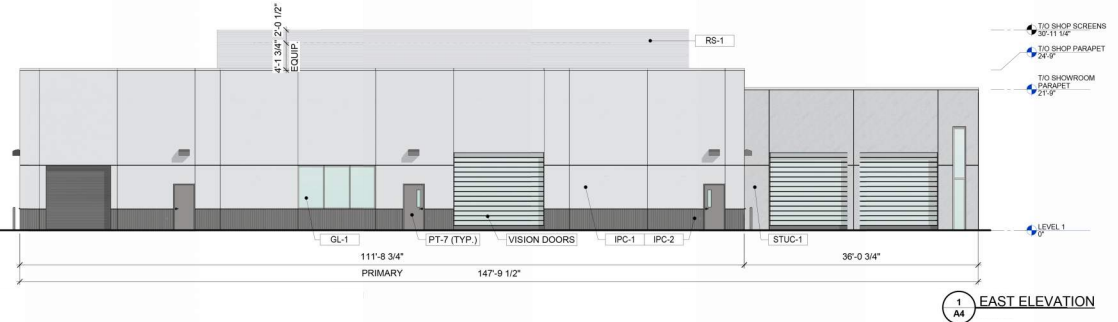
FRONT FACADE (WEST):
TOTAL SF: 3,884 SF
GLAZING: 1,858 SF
ACM: 1,044 SF 27%
REMAINING SURFACES: 982 SF

PRIMARY FINISH:
PRECAST PANELS: 360 SF
TOTAL PRIMARY: 37%
SECONDARY FINISHES:
ROOF SCREENS: 622 SF
TOTAL SECONDARY: 63%



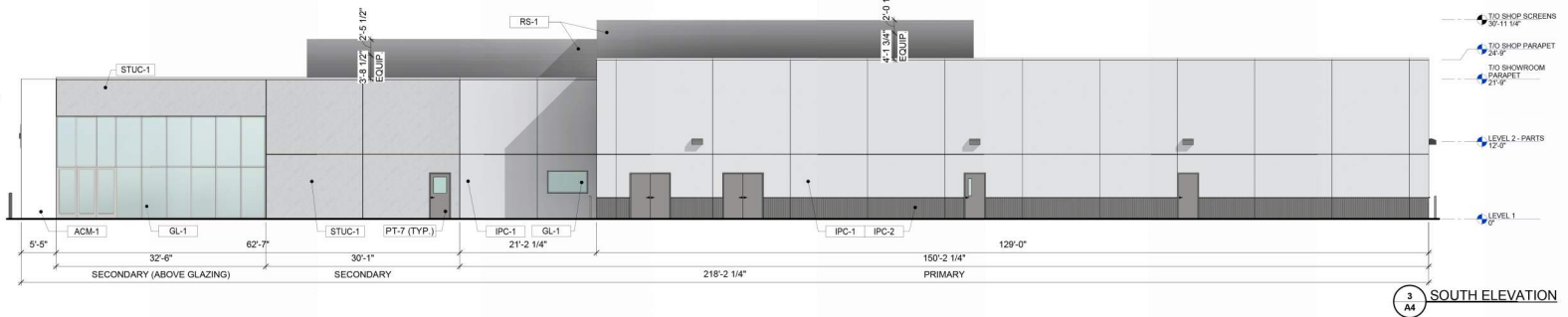
BACK FACADE (EAST):
TOTAL SF: 3,698 SF
GLAZING: 383 SF
REMAINING SURFACES: 3,315 SF

PRIMARY FINISH:
PRECAST PANELS: 2,346 SF
NON-GLAZED SURFACES: 69 SF
TOTAL PRIMARY: 73%
SECONDARY FINISHES:
STUCCO: 463 SF
ROOF SCREENS: 437 SF
TOTAL SECONDARY: 27%



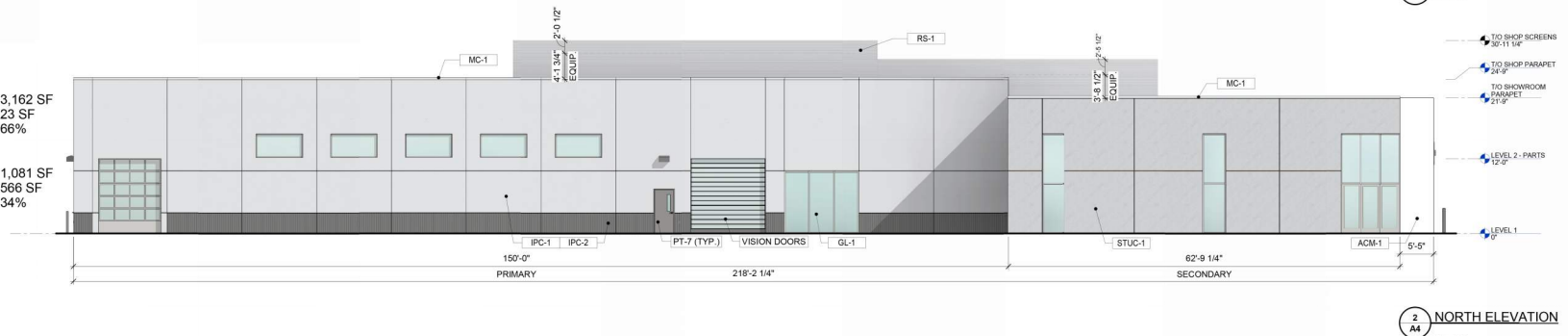
RIGHT SIDE FACADE (SOUTH):
TOTAL SF: 5,959 SF
GLAZING: 705 SF
ACM: 118 SF 2%
REMAINING SURFACES: 5,136 SF

PRIMARY FINISH:
PRECAST PANELS: 3,515 SF
NON-GLAZED SURFACES: 156 SF
TOTAL PRIMARY: 72%
SECONDARY FINISHES:
STUCCO: 817 SF
ROOF SCREENS: 648 SF
TOTAL SECONDARY: 28%



LEFT SIDE FACADE (NORTH):
TOTAL SF: 5,717 SF
GLAZING: 790 SF
ACM: 118 SF 2%
REMAINING SURFACES: 4,809 SF

PRIMARY FINISH:
PRECAST PANELS: 3,162 SF
NON-GLAZED SURFACES: 23 SF
TOTAL PRIMARY: 66%
SECONDARY FINISHES:
STUCCO: 1,081 SF
ROOF SCREENS: 566 SF
TOTAL SECONDARY: 34%



PRAXIS3

Mills Automotive Group

VW of Newnan
701 Newnan Crossing Bypass
Newnan, GA 30265

**Exterior
Elevations**

Project No. 24044

08.30.2024

A14.2



2
A5 Perspective View - SW Street Corner



1
A5 Perspective View - NW Street Corner

PRAXIS3

Mills Automotive Group

VW of Newnan
701 Newnan Crossing Bypass
Newnan, GA 30265

**Exterior
Perspective
Views**

Project No. 24044

08.30.2024

A15



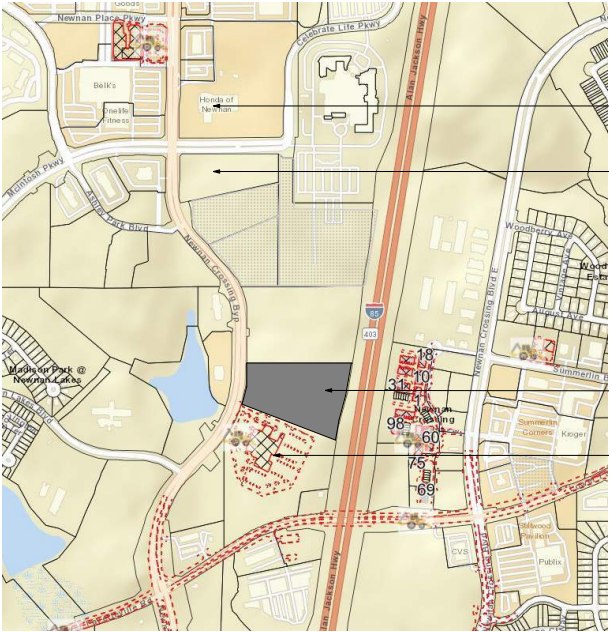
HONDA OF NEWNAN



McDANIELS ACURA OF NEWNAN



SUBARU OF NEWNAN



- HONDA OF NEWNAN
- McDANIELS ACURA OF NEWNAN
- VW OF NEWNAN
PROJECT SITE
- SUBARU OF NEWNAN

1/4
46 Neighbor Map

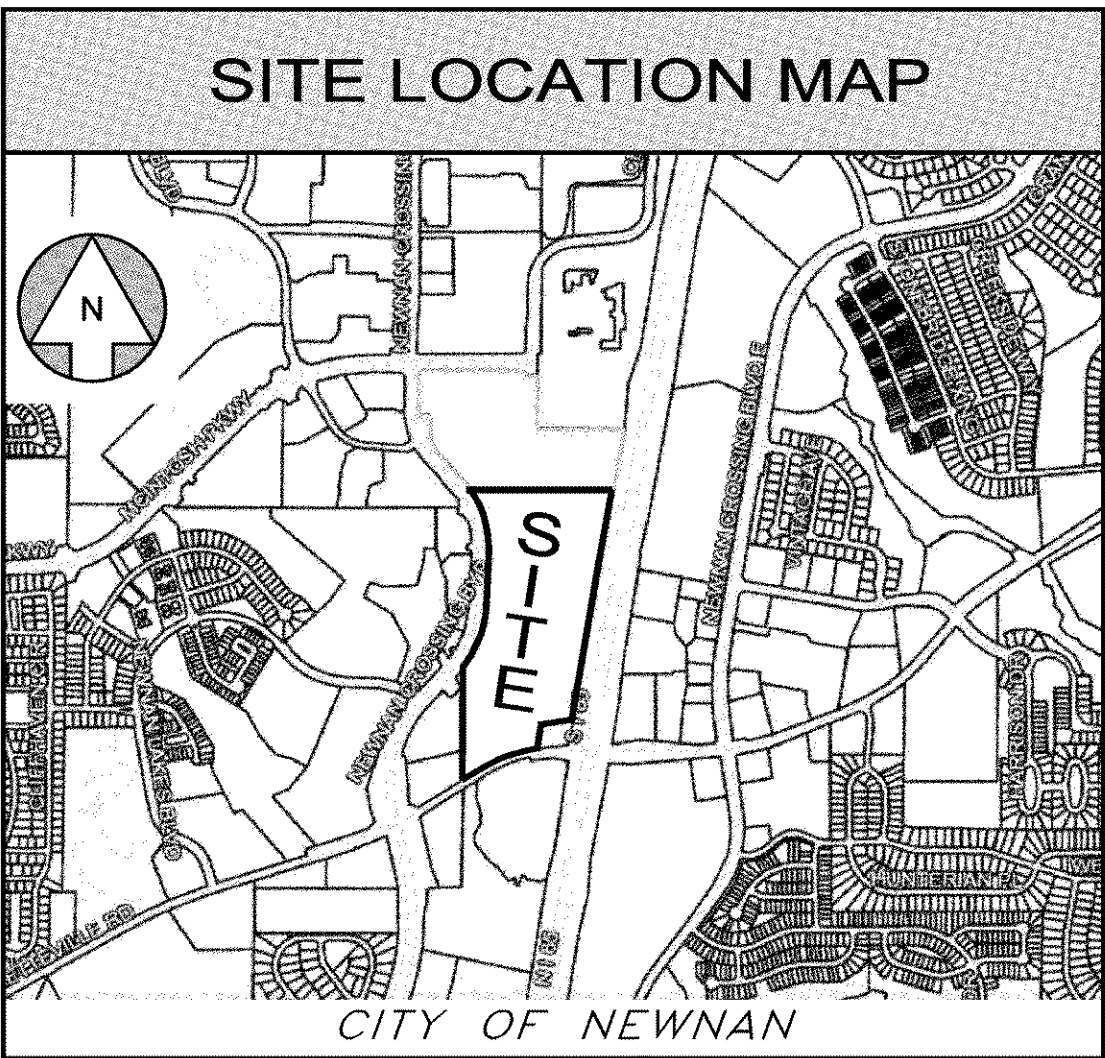
PRAXIS3	Mills Automotive Group	VW of Newnan 701 Newnan Crossing Bypass Newnan, GA 30265	Neighboring Photos	Project No. 24044	08.30.2024	A16
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BK:101 PG:747-747
P2023000265
FILED IN OFFICE
CLERK OF COURT
10/26/2023 09:51 AM
NIKI SEWELL, CLERK
SUPERIOR COURT
COWETA COUNTY, GA
Niki Sewell
9822841399
PARTICIPANT ID

MINOR SUB-DIVISION PLAT
DIVISION OF TAX PARCEL ID:
086 5021 002
LAND LOT 21, 43 & 44, OF
THE 5TH DISTRICT
CITY OF NEWNAN
COWETA COUNTY, GEORGIA
(THIS IS A REVISION OF)
(PB: 101, PG: 8)

Curve	Radius	Length	Chord	Chord Bear.
C1	938.32'	589.82'	580.15'	N 18°45'39" E
C2	1047.00'	111.56'	111.51'	S 81°18'09" W
C3	1037.00'	396.06'	393.66'	S 67°16'45" W
C4	669.29'	177.17'	176.66'	N 16°00'23" W

Course	Bearing	Distance
L1	S 89°59'24" E	19.24'
L2	N 01°01'13" E	65.46'
L3	N 88°59'44" W	19.62'
L4	N 00°39'50" E	66.97'
L5	N 01°26'29" E	107.00'



GENERAL SURVEY NOTES:

- THE CERTIFICATION, AS SHOWN HEREON, IS PURELY A STATEMENT OF PROFESSIONAL OPINION BASED ON KNOWLEDGE, INFORMATION AND BELIEF, AND BASED ON EXISTING FIELD EVIDENCE AND DOCUMENTARY EVIDENCE AVAILABLE. THE CERTIFICATION IS NOT AN EXPRESSED OR IMPLIED WARRANTY OR GUARANTEE.
- THIS SURVEY COMPLIES WITH BOTH THE RULES OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND SURVEYORS AND THE OFFICIAL CODE OF GEORGIA ANNOTATED (OCGA) 15-6-67 AS AMENDED BY HB 76 (2017), IN THAT WHERE A CONFLICT EXISTS BETWEEN THOSE TWO SETS OF SPECIFICATIONS, THE REQUIREMENTS OF LAW PREVAIL.
- THIS PLAT IS FOR THE EXCLUSIVE USE OF THE PARTIES NAMED IN THE TITLE BLOCK AND OR THE CERTIFICATION. ANY USE BY OTHER PARTIES NOT NAMED IS AT THEIR OWN RISK.
- THIS PLAT IS NOT VALID UNLESS IT BEARS THE ORIGINAL SIGNATURE OF THE REGISTRANT ACROSS THE REGISTRANT'S SEAL IN CONTRASTING INK.
- IN MY OPINION, THIS PROPERTY DOES NOT LIE WITHIN (ZONE A/AE) SPECIAL FLOOD HAZARD AREAS AS DEFINED BY F.E.M.A. FLOOD INSURANCE RATE MAPS (FIRM) #1307700144D AND #1307700232D WITH EFFECTIVE DATE OF FEBRUARY 06, 2013. PORTIONS DO LIE WITHIN (ZONE X - SHADED) 500 YEAR SPECIAL FLOOD HAZARD AREA. OTHER FLOOD HAZARD AREAS SUCH AS THE CITY OF NEWNAN FUTURE FLOOD MAY EXIST AND ARE NOT SHOWN HEREON.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT TITLE; THEREFORE, THE UNDERSIGNED AND GASKINS + LECRAW MAKE NO WARRANTIES OR REPRESENTATIONS REGARDING INFORMATION SHOWN HEREON PERTAINING TO EASEMENTS, RIGHT-OF-WAY, SETBACK LINES, AGREEMENTS, RESERVATIONS, AND OTHER SIMILAR MATTERS.
- INFORMATION REGARDING THE REPUTED PRESENCE, SIZE, CHARACTER AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES IS SHOWN HEREON. THERE IS NO CERTAINTY OF THE ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED IN THAT LIGHT BY THOSE USING THIS DRAWING. THE LOCATION AND ARRANGEMENT OF UNDERGROUND UTILITIES AND STRUCTURES, SHOWN HEREON, MAY BE INACCURATE AND UTILITIES AND STRUCTURES NOT SHOWN MAY BE ENCOUNTERED. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS, HIS CONTRACTORS, AND/OR HIS AGENTS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE SURVEYOR IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THIS INFORMATION, SHOWN HEREON, AS TO SUCH UNDERGROUND INFORMATION.
- PROPERTY CURRENTLY ZONED CGN AND ALSO WITHIN QUALITY DEVELOPMENT CORRIDOR OVERLAY DISTRICT, LOWER FAYETTEVILLE ROAD COMMERCIAL LANDSCAPE CORRIDOR OVERLAY DISTRICT, AND I-85 BUILDING HEIGHT OVERLAY DISTRICT.
- NO WETLANDS OR STATE WATERS REPORT PROVIDED TO THIS OFFICE. STATE WATERS, WETLANDS AND OTHER WATER FEATURES MAY EXIST ON THE PROPERTY. THOSE SHOWN HEREON ARE APPROXIMATE AND WERE NOT DELINEATED.
- THIS SURVEY IS RELATED TO GEORGIA, WEST ZONE, STATE PLANE COORDINATE SYSTEM HORIZONTAL DATUM. HORIZONTAL CONTROL SET BY AVERAGING 180 NETWORK ROVER OBSERVATIONS CONNECTED TO THE EGPS GNSS REFERENCE NETWORK.

DRAINAGE EASEMENT NOTE:

THE FINAL PLAT SHALL HAVE THE FOLLOWING NOTE CLEARLY AND LEGIBLY PRINTED, THE OWNER OF RECORD, ON BEHALF OF HIMSELF (ITSELF) AND ALL SUCCESSORS IN INTEREST SPECIFICALLY RELEASES THE CITY OF NEWNAN FROM ANY AND ALL LIABILITY AND RESPONSIBILITY FOR FLOODING OR EROSION FROM STORM DRAINS OR FROM FLOODING FROM HIGH WATER OF NATURAL CREEKS, RIVERS OR DRAINAGE FEATURES SHOWN HEREON. A DRAINAGE EASEMENT IS HEREBY ESTABLISHED FOR THE SOLE PURPOSE OF PROVIDING FOR THE EMERGENCY PROTECTION OF THE FREE FLOW OF SURFACE WATERS ALONG ALL WATERCOURSES AS ESTABLISHED BY THE REGULATIONS OF THE CITY OF NEWNAN. THE PUBLIC WORKS DIRECTOR MAY CONDUCT EMERGENCY MAINTENANCE OPERATIONS WITHIN THIS EASEMENT WHERE EMERGENCY CONDITIONS EXIST. EMERGENCY MAINTENANCE SHALL BE THE REMOVAL OF TREES AND OTHER DEBRIS, EXCAVATION, FILLING AND THE LIKE, NECESSARY TO REMEDY A CONDITION, WHICH IN THE JUDGMENT OF THE PUBLIC WORKS DIRECTOR, IS POTENTIALLY INJURIOUS TO LIFE, PROPERTY OR THE PUBLIC ROADS OR UTILITY SYSTEM. SUCH EMERGENCY MAINTENANCE, CONDUCTED FOR THE COMMON GOOD, SHALL NOT BE CONSTRUED AS CONSTITUTING A CONTINUING MAINTENANCE OBLIGATION ON THE PART OF THE CITY OF NEWNAN NOR AN ABROGATION OF THE CITY'S RIGHTS TO SEEK REIMBURSEMENT FOR EXPENSES FROM THE OWNERS OF THE PROPERTIES OF THE LANDS THAT GENERATED THE CONDITIONS.

OWNER'S CERTIFICATE:

STATE OF GEORGIA, COUNTY OF COWETA,
I, BEING THE OWNER OF THE LAND SHOWN ON THIS PLAT, HEREBY CERTIFY THAT: ALL STATE, CITY AND COUNTY TAXES OR OTHER ASSESSMENTS NOW DUE ON THIS LAND HAVE BEEN PAID; ALL STREETS, DRAINAGE WAYS AND EASEMENTS SHOWN HEREON ARE DEDICATED TO THE USE OF THE PUBLIC AND ENFORCEMENT BY PUBLIC SAFETY OFFICIALS FOREVER; AND, THAT I WILL BE RESPONSIBLE FOR THE MAINTENANCE AND REPAIR OF ALL INFRASTRUCTURE ASSOCIATED WITH THIS DEVELOPMENT UNTIL EXPIRATION OF THE MAINTENANCE PERIOD.

OWNER/DEVELOPER
DATE

DIRECTOR OF THE PLANNING DEPARTMENT'S CERTIFICATE:

PURSUANT TO THE LAND SUBDIVISION REGULATIONS OF THE CITY OF NEWNAN, GEORGIA, ALL REQUIREMENTS OF APPROVAL HAVING BEEN FULFILLED, THIS FINAL PLAT WAS GIVEN

FINAL / October 25, 2023
DATE

SURVEY DATA:

PLAT CLOSURE:
E.O.C. PLAT: (TRACT 5) 1" IN 308,816 FEET
E.O.C. PLAT: (TRACT 6) 1" IN 700,142 FEET

FIELD CLOSURE:
E.O.C. FIELD: 1" IN 32,756 FEET
ANGULAR ERROR: 1" PER ANGLE POINT
ADJUSTED BY: NETWORK LEAST SQUARES

EQUIPMENT USED:

- 1) GEOMAX ZOOM 40 DIRECT TOTAL STATION
- 2) GEOMAX ZOOM 90 ROBOTIC TOTAL STATION
- 3) CHAMPION PRO GPS RECEIVER

PLAT AND DEED REFERENCES:

- 1) DEED BOOK: 3972 PAGE: 339
- 2) DEED BOOK: 5616 PAGE: 429
- 3) PLAT BOOK: 98 PAGE: 323
- 4) PLAT BOOK: 101 PAGE: 8

CURRENT PROPERTY ZONING AND SETBACK REQUIREMENTS:

PROPERTY ZONED:
CGN = GENERAL COMMERCIAL

PROPERTY CURRENTLY LIES WITHIN:
QUALITY DEVELOPMENT CORRIDOR OVERLAY DISTRICT,
LOWER FAYETTEVILLE ROAD COMMERCIAL LANDSCAPE
CORRIDOR OVERLAY DISTRICT AND I-85 BUILDING HEIGHT
OVERLAY DISTRICT.

TRACTS 5 AND 6 REQUIRED SETBACKS:
FRONT SETBACK = 35'
STREET SIDE SETBACK = 35'
SIDE SETBACK = 12'
REAR SETBACK = 12'
LANDSCAPE STRIP = 10' ON ALL NON-STREET PROPERTY LINES

SURVEY LEGEND:

AC. = ACRES
SF. = SQUARE FEET
PB. = PLAT BOOK
DB. = DEED BOOK
PG. = PAGE
PN. = PARCEL NUMBER
ADJ. P/L. = ADJOINING PROPERTY LINE
N/F = NOW OR FORMERLY
R/W = RIGHT-OF-WAY
C/L = CENTER LINE
P/L = PROPERTY LINE
PP = POWER POLE
WV = WATER VALVE
FH = FIRE HYDRANT
SSMH = SANITARY SEWER MANHOLE
CCSW = CONCRETE SIDEWALK
E.O.P. = EDGE OF PAVING
B.O.C. = BACK OF CURB
P.O.B. = POINT OF BEGINNING
CP = COMPUTED POINT
CMF = CONCRETE R/W MONUMENT
IPF = IRON PIN FOUND
IPS = IRON PIN SET (1/2" RE-BAR)



OWNER / DEVELOPER:
CLT ACREAGE LLC
ADDRESS:
400 N. MICHIGAN AVENUE,
SUITE 900
CHICAGO, ILLINOIS 60611

CONTACT:
JON BILTON
PHONE: 1 (312) 262-5061
EMAIL: JON.BILTON@BLGCAP.COM

MINOR SUB-DIVISION SURVEY AND PLAT FOR:

CLT ACREAGE LLC

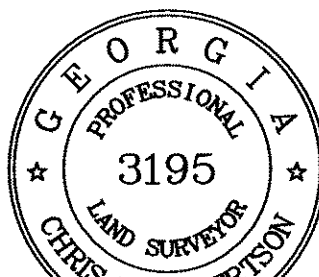
NEWMAN CROSSING BYPASS AND LOWER FAYETTEVILLE ROAD
PORTIONS OF EXISTING PARCEL NUMBER: 086 5021 002
AND PLAT OF RECORD: PLAT BOOK: 101, PAGE: 8

PROPERTY LOCATED IN:
LAND LOT 21, 5TH LAND DISTRICT
CITY OF NEWNAN, GEORGIA,
COWETA COUNTY, GEORGIA

*THIS DOCUMENT WAS PRODUCED ON A 24" X 36" SHEET UTILIZING ELECTRONIC MEDIA AND DIGITALLY SIGNED BY THE SURVEYOR UTILIZING NITRO PDF EDITOR AT THE TIME AND DATE SHOWN AND A COPY OF THE ORIGINAL DOCUMENT IS KEPT IN THE OFFICE OF THE SURVEYOR. ANY MODIFICATIONS MADE THEREAFTER ARE INVALID. ANY DIGITAL COPY OF THIS DOCUMENT THAT DOES NOT CONTAIN A SIGNATURE VALIDATION AT THE SAME TIME AND DATE OR CONTAINS PDF EDITS HAS BEEN MODIFIED. ANY DIGITAL OR PAPER COPIES CAN BE AUTHENTICATED USING THE ORIGINAL SURVEYOR'S DOCUMENT.

SURVEYOR'S CERTIFICATION

AS REQUIRED BY SUBSECTION (D) OF O.C.G.A. SECTION 15-6-67, THIS PLAT HAS BEEN PREPARED BY A LAND SURVEYOR AND APPROVED BY ALL APPLICABLE LOCAL JURISDICTIONS FOR RECORDING AS EVIDENCED BY APPROVAL CERTIFICATES, SIGNATURES, STAMPS, OR STATEMENTS HEREON. SUCH APPROVALS OR AFFIRMATIONS SHOULD BE CONFIRMED WITH THE APPROPRIATE GOVERNMENTAL BODIES BY ANY PURCHASER OR USER OF THIS PLAT AS TO INTENDED USE OF ANY PARCEL. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.



AS SURVEYOR FOR
GASKINS + LECRAW, INC.

CHRIS W. ROBERTSON
DATE: 11-09-2022
GEORGIA REGISTERED LAND SURVEYOR NO. 3195

SURVEYOR'S CERTIFICATE:

IT IS HEREBY CERTIFIED THAT THIS PLAT IS TRUE AND CORRECT AND WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY BY ME OR UNDER MY SUPERVISION; THAT ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST AND THEIR LOCATION, SIZE, TYPE AND MATERIAL ARE CORRECTLY SHOWN; AND THAT ALL REQUIREMENTS OF THE LAND SUBDIVISION REGULATIONS OF THE CITY OF NEWNAN, GEORGIA HAVE BEEN FULLY COMPLIED WITH.

CHRIS W. ROBERTSON GA RLS #3195

DATE: 11-09-2022

SHEET TITLE:

1 OF 1

SURVEY INFO:

DRAWN BY: CAF
REVIEWED BY: CWR
FIELD DATE: 10-28-2022
OFFICE DATE: 11-09-2022
AJERA NUMBER: 2112046
NEWMAN XING BYP. - 5ND (KATTEN MINOR SUB PLAT)

SCALE: 1" = 100'

SCALE & NORTH ARROW:

CALL BEFORE YOU DIG

PREPARED IN THE OFFICE OF:

GASKINS + LECRAW, INC.
24 JACKSON STREET
NEWNAN, GA 30263
PHONE - 770.253.5195
www.gaskins+lecraw.com
LSF 001371

GASKINS + LECRAW

REV. #	REVISION DESCRIPTION	DATE	DRAWN BY	CHECKED BY
3	PER CITY OF NEWNAN COMMENTS	10-19-23	CAF	CWR
2	PER CITY OF NEWNAN COMMENTS	08-16-23	CAF	CWR
1	REVISED AREA OF TRACT 6 - PER OWNER/DEVELOPER'S REQUEST	07-27-23	CAF	CWR

REVISIONS



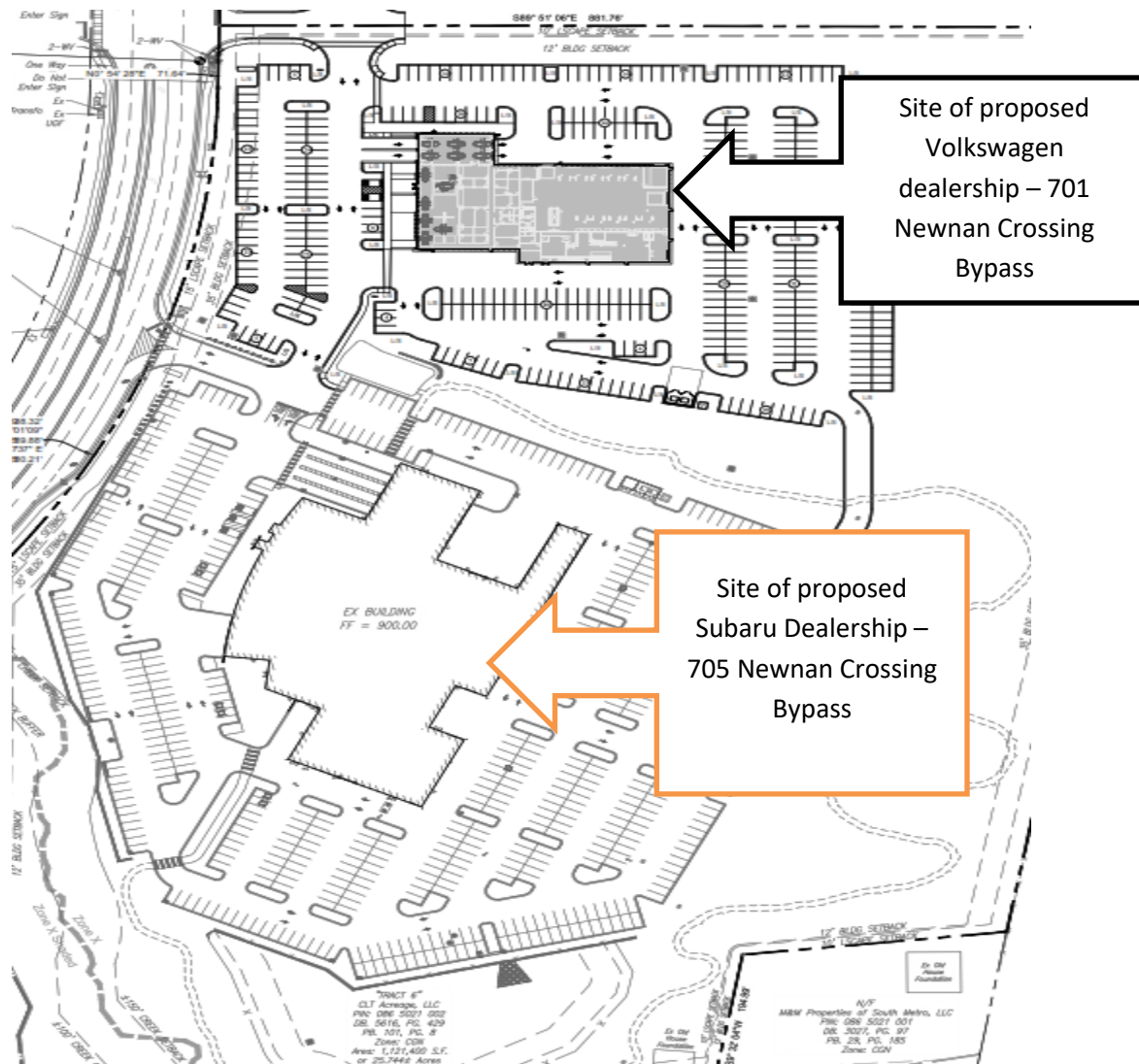
August 19, 2024 - CITY OF NEWNAN INITIATING ADDRESS ASSIGNMENT AND/OR CHANGE

Project Name: Subaru and Volkswagen Car Dealerships – New construction

Tax Parcel No. 086-5021-032

Address change/assignment:

The purpose of this address assignment is to assign addresses for two new automobile dealerships that will be built on the same lot.



To reiterate:

Future Volkswagen Dealership – 701 Newnan Crossing Bypass, Newnan, GA 30265

Future Subaru Dealership – 705 Newnan Crossing Bypass, Newnan, GA 30265

Address Change Initiated by: Dean Smith, Senior Planner, City of Newnan

Phone: 678-673-5496

Email: dsmith@newnanga.gov